

**3. Property information**

Civic address: 135 South Road, Hastings Highlands, ON

Assessment Roll Number: 12-90-191-020-26650-0000

Former Geographic Township McClure

Legal Description: RP21R4280 Part 1, Part 6, Part 10,  
McClure Con 10 Part Lot 8, Part Lot 9

Lot frontage (m): 154.06 ft Lot Depth (m): 680 ft Lot Area (ha): 7.05 acres

Date the subject property was acquired by current owner: 2006

**4. Access to property (select one):**

- Provincial highway  Right-of-way  
 Municipal Road (year-round maintenance)  Water (see next page)  
 Municipal Road (seasonal maintenance)  
 Other (please specify): \_\_\_\_\_

Where access to the subject land is by water only:

Docking facilities Location: \_\_\_\_\_

Distance of Docking facilities from subject land: \_\_\_\_\_

Distance of Docking facilities from public road: \_\_\_\_\_

Parking facilities Location: \_\_\_\_\_

Distance of Parking facilities from subject land: \_\_\_\_\_

Distance of Parking facilities from public road: \_\_\_\_\_

**5. Is 66 feet Shore Road Allowance owned by Applicants?**  Yes  No  N/A

*If yes, please include documentation to support this. If no water frontage, select N/A.*

If No, is development happening on the Shore Road Allowance?  Yes  No

**6. Servicing of the Property**

**Water** is provided to the subject land by:

- Publicly owned/operated pipe water system  
 Privately owned/operated individual well  
 Privately owned/operated communal well  
 Lake or other waterbody  
 Other means (please explain): Privately Owned well is Planned for Property

**Minor Variance or Permission Application**

**Sewage** is provided to the subject land by:

- Publicly owned/operated sanitary sewage system
- Privately owned/operated individual septic system
- Privately owned/operated communal septic system
- Privy
- Other means (please explain): \_\_\_\_\_

**Storm drainage** is provided to the subject land by:

- Sewers
- Ditches
- Swales
- Other means (please explain): Natural Contours

**7. Current Land Use**

Current designation of the property in the County of Hastings Official Plan:

Residential/Farm

Current zoning of the property in the Comprehensive Zoning Bylaw:

Waterfront Residential

What is the land currently being used for? Please explain:

Waterfront Residential and Environmental protection

Length of time the current use of the land has continued: 49 years

What are the land uses of adjacent and neighbouring properties?

Waterfront Residential & Recreational Resort Commercial



8. Existing buildings/structures

Include the following for each building(s) or structure(s) on the property:

**Existing Building/Structure 1** (both metric and imperial units):

Type of building: Bunkie

Date constructed: 2018

Height of building (to the midpoint of the roof): 11 ft

Front lot line setback: 490 ft                      Dimensions: 8X12 ft

Rear lot line setback: 235 ft                      Floor area: 96 Sq Ft

Side lot line setback: 160 ft                      Side lot line setback: 540 ft

Distance to water (if applicable): 235 ft

**Existing Attached Structure (such as a deck)** (metric and imperial units):

Type of building: \_\_\_\_\_

Date constructed: \_\_\_\_\_

Height of building (to the midpoint of the roof or top of deck): \_\_\_\_\_

Front lot line setback: \_\_\_\_\_                      Dimensions: \_\_\_\_\_

Rear lot line setback: \_\_\_\_\_                      Floor area: \_\_\_\_\_

Side lot line setback: \_\_\_\_\_                      Side lot line setback: \_\_\_\_\_

Distance to water (if applicable): \_\_\_\_\_

Note: If there are any additional attached decks, porches, etc., include them as an Existing Building/Structure below.

**Existing Building/Structure 2** (both metric and imperial units):

Type of building: Shed/Outhouse

Date constructed: 1989

Height of building (to the midpoint of the roof): 7 ft

Front lot line setback: 400 ft                      Dimensions: 6X8 ft

Rear lot line setback: 270 ft                      Floor area: 48 ft

Side lot line setback: 150 ft                      Side lot line setback: 550 ft

Distance to water (if applicable): 270 ft



**Minor Variance or Permission Application**

**Minor Variance or Permission Application**

**Existing Building/Structure 3** (both metric and imperial units):

Type of building: Recreational Gazebo (screened)

Date constructed: 2023

Height of building (to the midpoint of the roof): 8 ft

Front lot line setback: 520 ft                      Dimensions: 10X16 ft

Rear lot line setback: 140 ft                      Floor area: 160 SQ FT

Side lot line setback: 74 ft                      Side lot line setback: 610 ft

Distance to water (if applicable): 140 Ft

**Existing Building/Structure 4** (both metric and imperial units):

Type of building: \_\_\_\_\_

Date constructed: \_\_\_\_\_

Height of building (to the midpoint of the roof): \_\_\_\_\_

Front lot line setback: \_\_\_\_\_                      Dimensions: \_\_\_\_\_

Rear lot line setback: \_\_\_\_\_                      Floor area: \_\_\_\_\_

Side lot line setback: \_\_\_\_\_                      Side lot line setback: \_\_\_\_\_

Distance to water (if applicable): \_\_\_\_\_

**Existing Building/Structure 5** (both metric and imperial units):

Type of building: \_\_\_\_\_

Date constructed: \_\_\_\_\_

Height of building (to the midpoint of the roof): \_\_\_\_\_

Front lot line setback: \_\_\_\_\_                      Dimensions: \_\_\_\_\_

Rear lot line setback: \_\_\_\_\_                      Floor area: \_\_\_\_\_

Side lot line setback: \_\_\_\_\_                      Side lot line setback: \_\_\_\_\_

Distance to water (if applicable): \_\_\_\_\_

**Note:** If there are additional buildings, please attach (a) separate page(s) to this Application.



## 9. Summary of Development Proposal

Provide a complete written description of the nature of the application with details of the proposed development including but not limited to: proposed use(s), height/storeys, floor area(s), number of parking/loading spaces, landscape area, etc. If additional space needed, attach (a) separate page(s) to this Application.

Recreational 4 season cottage with basement (28X32 Ft)

Bungalow with Concrete Basement (896 Sq Ft on each of the two levels)

Basement Height - 8 Ft

Main Floor Height - 8Ft at rear increasing to 12.5Ft at front

Parking Spaces - 4

On 7.05 acre parcel

Approx 1.0 acres developed for meadows and driveways

## 10. Relief

Provide a written explanation of the nature and extent of the relief being requested from the Comprehensive Zoning Bylaw. A land use planning consultant or other qualified professional may be able to assist you:

The zoning bylaw has two clauses that apply to us.

1) Distance from the Water must be greater than 100Ft

The proposed cottage deck is 140Ft from the water

2) Distance from a steep or unstable slope must be greater than 100 Ft

The proposed cottage deck is about 80 ft from the slope. The slope is not unstable and has no points of apparent erosion or instability. Our desired location is also farther back from the steep slope than our closest neighbors.

**11. Reason**

Provide a written explanation of why the proposed development or use cannot comply with the Comprehensive Zoning Bylaw. How or can the proposal be modified to comply with the regulations? A land use planning consultant or other qualified professional may be able to assist you in providing an explanation:

Our preferred location is slightly closer to the slope than required in the bylaw. We are hoping to build using the natural topography to allow for a walkout basement. (Similar to neighbours)



## 12. Rationale

Did you conduct a Pre-consultation with the Municipality?  Yes  No  
*If yes, please include any correspondence with the Municipality.*

### **Tests for a Minor Variance or Permission Application**

Please provide a written explanation of why/how the proposed development or use is consistent with the Provincial Policy Statement and either meets the tests of a Minor Variance or Permission Application. To see these tests, check the Minor Variance or Permission Guide. A land use planning consultant or other qualified professional may be able to assist you in providing planning rationale to support your Application. If more space needed to answer, please attach (an) additional page(s):

We will retain the waterfront residential land use. The building of a cottage on this property will increase the desirability. Due to the size of the lot it is a minor variance.



**13. Property/proposed development**

Include the following for each proposed building(s) or structure(s) on the property:

***Proposed Building/Structure 1 (both metric and imperial units):***

Type of building: Residential Bungalow  
 Date to be constructed: Spring 2026  
 Height of building (to the midpoint of the roof): 10.5 Ft  
 Front lot line setback: 500 Ft                      Dimensions: 32X28 Ft  
 Rear lot line setback: 150 Ft                      Floor area: 896 Sq Ft  
 Side lot line setback: 64 Ft                      Side lot line setback: 600 Ft  
 Distance to water (if applicable): 150 Ft

***Proposed Attached Structure (such as a deck) (metric and imperial units):***

Type of building: Raised Deck  
 Date to be constructed: Fall 2026  
 Height of building (to the midpoint of roof or top of deck): 8 Ft  
 Front lot line setback: 528 Ft                      Dimensions: 36X10 Ft  
 Rear lot line setback: 140 ft                      Floor area: 360 Sq Ft  
 Side lot line setback: 64 Ft                      Side lot line setback: 600 Ft  
 Distance to water (if applicable): 140 Ft

***Proposed Building/Structure 3 (both metric and imperial units):***

Type of building: attached screened porch  
 Date to be constructed: 2026  
 Height of building (to the midpoint of roof): 9ft  
 Front lot line setback: 518 ft                      Dimensions: 10x10  
 Rear lot line setback: 150 ft                      Floor area: 100 sq. ft.  
 Side lot line setback: 96 ft                      Side lot line setback: 590 ft  
 Distance to water (if applicable): 150 ft

**Note:** If there are additional buildings, attached decks, attached porches, etc., please attach a separate page to this Application.



**Minor Variance or Permission Application**

**13. Property/proposed development**

Include the following for each proposed building(s) or structure(s) on the property:

**Proposed Building/Structure<sup>4</sup>** (both metric and imperial units):

Type of building: Recreational Gazebo (screened)

Date to be constructed: 2023 Relocated 2026

Height of building (to the midpoint of the roof): 8 ft

Front lot line setback: 520 ft Dimensions: 10' x 16'

Rear lot line setback: 140 ft Floor area: 160 sq. ft.

Side lot line setback: 109 ft Side lot line setback: 575 ft.

Distance to water (if applicable): 140 ft.

**Proposed Attached Structure (such as a deck)** (metric and imperial units):

Type of building: \_\_\_\_\_

Date to be constructed: \_\_\_\_\_

Height of building (to the midpoint of roof or top of deck): \_\_\_\_\_

Front lot line setback: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Rear lot line setback: \_\_\_\_\_ Floor area: \_\_\_\_\_

Side lot line setback: \_\_\_\_\_ Side lot line setback: \_\_\_\_\_

Distance to water (if applicable): \_\_\_\_\_

**Proposed Building/Structure 3** (both metric and imperial units):

Type of building: \_\_\_\_\_

Date to be constructed: \_\_\_\_\_

Height of building (to the midpoint of roof): \_\_\_\_\_

Front lot line setback: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Rear lot line setback: \_\_\_\_\_ Floor area: \_\_\_\_\_

Side lot line setback: \_\_\_\_\_ Side lot line setback: \_\_\_\_\_

Distance to water (if applicable): \_\_\_\_\_

**Note:** If there are additional buildings, attached decks, attached porches, etc., please attach a separate page to this Application.

**14. Land Uses and Features**

Are any of the following uses or features on the subject lands and/or within 500 metres of the subject lands (Please indicate if it applies with a 'Yes' and an 'N/A' if it does not. Any features indicated with a 'Yes', please identify on your site plan):

	On Subject Lands	Within 500 Metres (unless otherwise specified)
An agricultural operation (any livestock facility, occupied or vacant, including manure storage)	N/A	
A landfill (active or non-operating) (within 1000 metres)	N/A	
An active mine site (within 1000 metres)	N/A	
A rehabilitated or abandoned mine site or mine hazards (within 1000 metres)	N/A	
An active gravel pit or quarry	N/A	
Any industrial use (current or former)	N/A	
Provincial Park or Crown Lands	N/A	
A floodplain	N/A	
Significant wildlife habitat (such as a deer yard) and/or significant habitat of Species at Risk (including but not limited to endangered and threatened species)	N/A	
Lake, river, stream, creek, pond or other water feature	YES	YES
Fish habitat	N/A	YES
Provincially Significant Wetland	N/A	
Any known cultural heritage, archaeological resources and/or areas of archaeological potential?	N/A	
A slope, including a steep and/or unstable slope with an angle of three-to-one (horizontal:vertical) or 18 degrees	YES	YES

**15. Other Planning Applications**

Has the property been or is the property currently the subject of any of the following (include file number and status)? Check all that apply:

- Official Plan Amendment \_\_\_\_\_
- Consent (Severance) \_\_\_\_\_
- Plan of Subdivision \_\_\_\_\_
- Zoning Bylaw Amendment Application \_\_\_\_\_
- Minor Variance Application \_\_\_\_\_
- Site Plan Control Application \_\_\_\_\_

**16. Site Plan Requirements**

All Minor Variance Applications must be accompanied by a complete site plan that is clear and meets the minimum requirements for a site plan found in the Comprehensive Site Plan Guidelines below.

**16.a) General Requirements**

- i. A Site Plan must be sufficiently detailed for Municipal staff to review.
- ii. A Site Plan must be completed to the satisfaction of Municipal staff.
- iii. If an Applicant is unable to meet the requirements and complete a site plan to the satisfaction of Municipal staff, you may need to hire a qualified professional, including an Ontario Land Surveyor, designer, architect, engineer, or land use planner.
- iv. An Elevation Plan of the building may be required to confirm the building height.
- v. Floor Plans of the building may be required to confirm the use of the building.
- vi. An Ontario Land Surveyor may be required to be hired, at the landowner's expense, to create an up-to-date Surveyor's Real Property Report (SRPR) of the property and existing development.
- vii. For proposals on waterfront properties, the Municipality recommends including a landscaping plan in the Application to indicate how natural vegetation will be maintained or restored on the property.
- viii. All setbacks and distances are to reflect the closest distance between the structure and the feature.
- ix. Where there are existing structures on a property, a separate drawing outlining the existing location of all structures on the property may need to be prepared in addition to the proposed site plan.

**16.b) Site Plan Drawing Guidelines**

**General Information**

- Drawing title block.
- Property address or legal description.
- Name of registered owner(s).
- North arrow.
- Adjacent existing land uses.

**Subject Property**

- Fully dimensioned property boundaries/lines, with a reference to the survey plan the dimensions are derived from.
- Name of road(s) fronting the property.
- Name of waterbody or waterbodies adjacent or within the property.
- Existing vegetation or areas of vegetation on the property.
- Any existing artificial or natural features, such as drainage ditches, ponds, wetlands.
- The location of any steep and/or unstable slope (which is a slope with an angle greater than 3:1 (horizontal:vertical) or 18 degrees).
- The location and nature of easements and right-of-ways for or on the property.

**Structures, Buildings, and Features**

- Location, dimensions, floor area, and number of stories of all existing and proposed buildings and structures (including decks, porches, stairs, swimming pools, hot tubs, dock).
- Setback or distances of all buildings and structures and other features to all property lot lines.
- Setback or distances of all buildings and structures and other features to water, slope, or any other natural features.
- Location, approximate dimensions, capacity, and setback of existing or proposed septic tank and septic bed, including distances to all property lot lines, buildings, structures, water, slope, and other natural features.
- Location and type of well.
- Location and distances of all Hydro One, including utility poles, underground and overhead lines, to existing and proposed buildings and structures.

**Site Work**

- Location of driveway entrance, width and setback to property lot lines.
- Layout and location of parking area.
- Location of all walkways.
- Location, height, and description of fencing, retaining walls, or privacy walls
- Vegetation to be removed, maintained, restored, or provided (trees, shrubs).

Site Plan

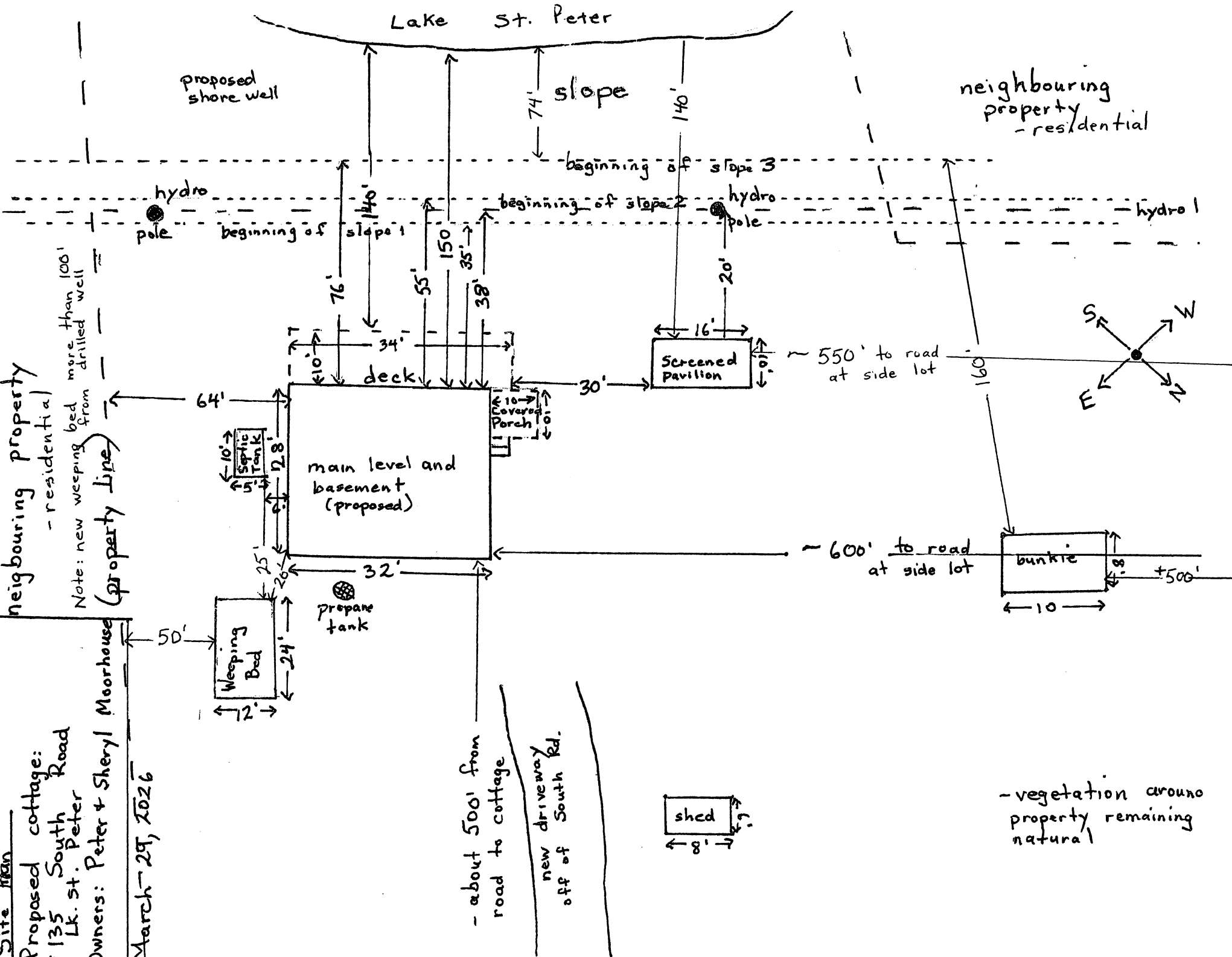
Proposed cottage:  
# 135 South Road  
Lk. St. Peter

Owners: Peter & Sheryl Moorhouse

March 29, 2026

neighbouring property  
- residential

Note: new weeping bed more than 100' from drilled well (property line)



- about 500' from road to cottage  
new driveway off of South Rd.

- vegetation around property remaining natural

Present Site

Owners: Peter & Sheryl Moorhouse

135 South Rd, Lk. St. Peter

neighbouring property - residential

(property line)

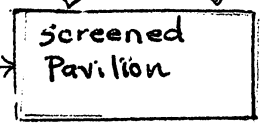
Lake St. Peter

hydro pole

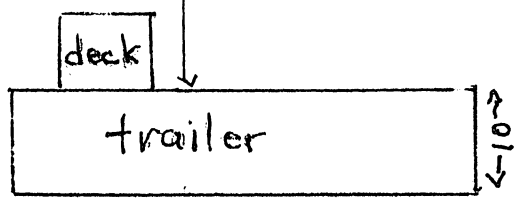
hydro pole

neighbouring property - residential

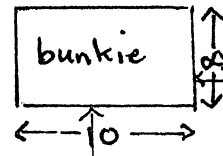
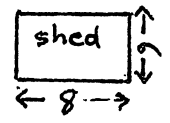
hydro line



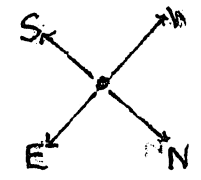
to be relocated



to be removed after construction

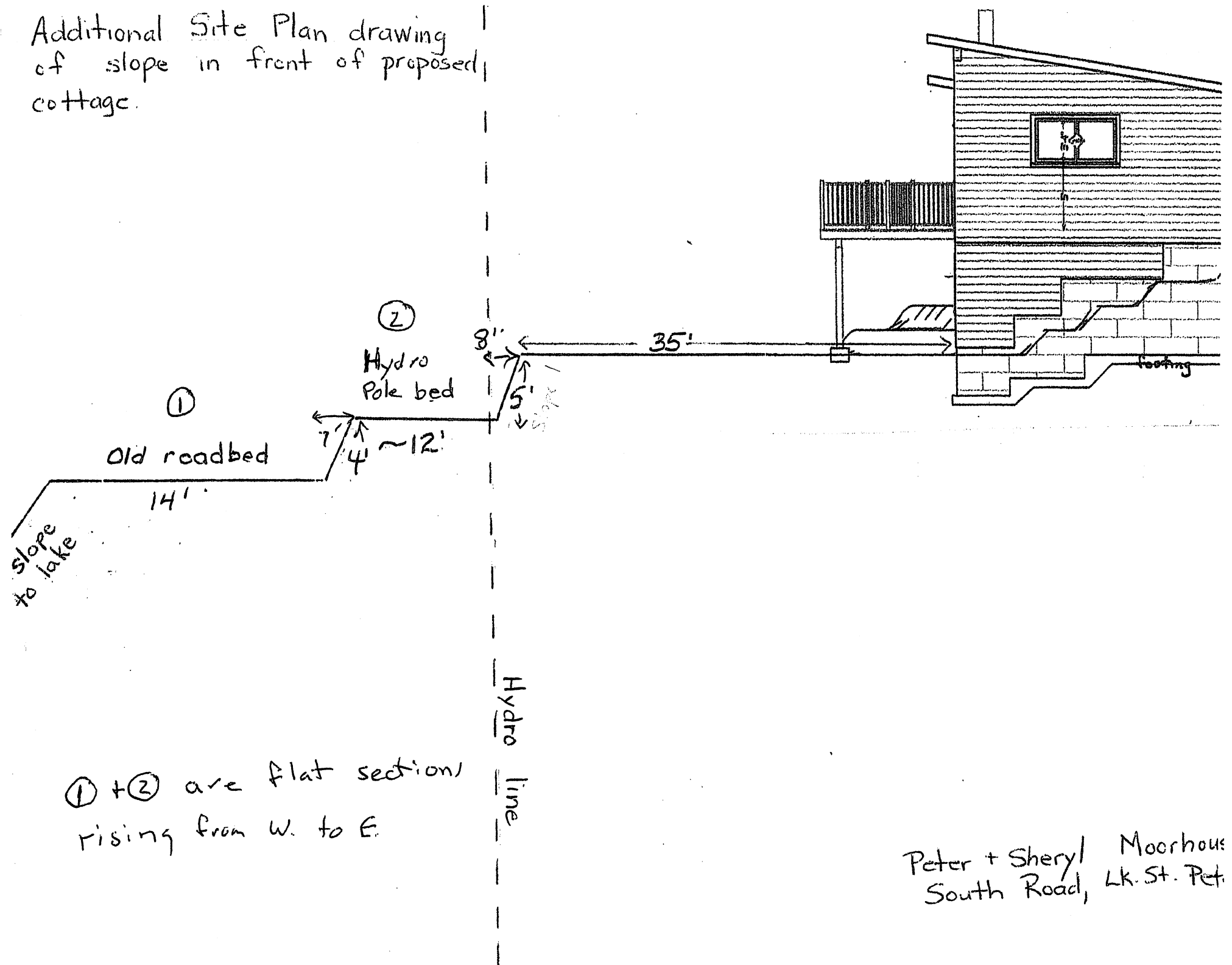


+500' to road



490'

Additional Site Plan drawing  
of slope in front of proposed  
cottage.

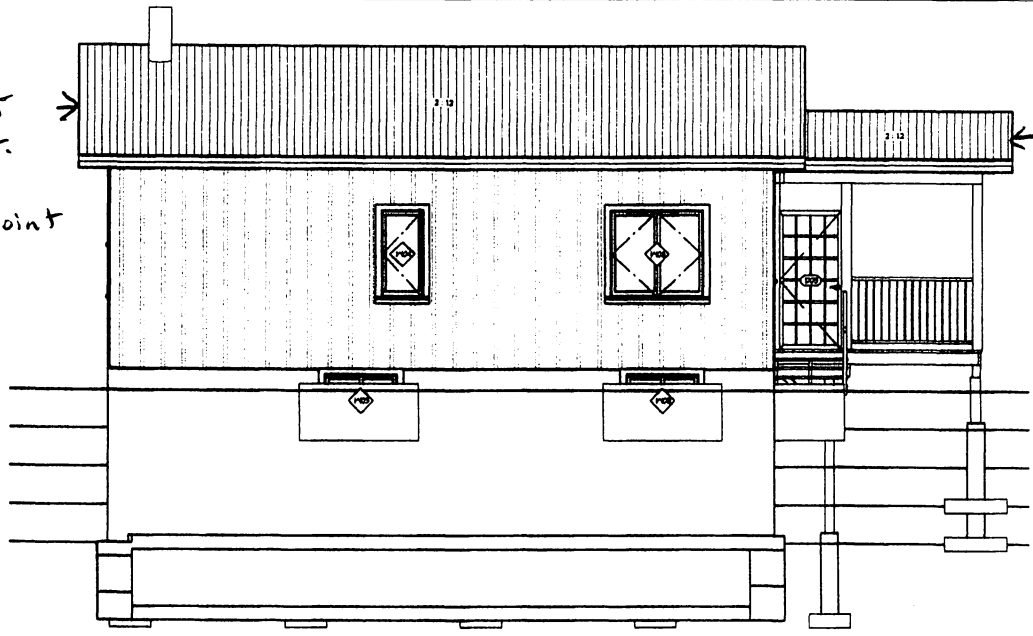


① + ② are flat sections  
rising from W. to E.

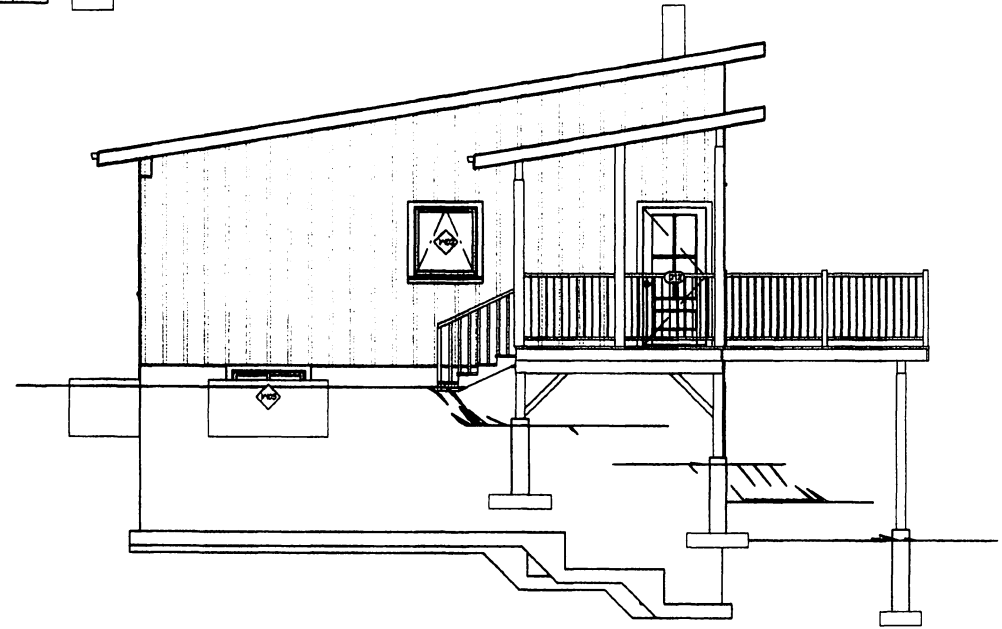
Peter + Sheryl Moorhouse  
South Road, Lk. St. Pet.

10.5 Ft.  
To midpoint

9.0 ft.  
to midpoint.



Exterior Elevation Back



Exterior Elevation Left



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**Dreams to Designs-42507**  
 Ian Sollitt-36119

PRODUCT DESCRIPTION:

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C of the Building Code and the firm is registered in Saskatchewan.  
 Ian Sollitt

DATE:

2026-03-23

SCALE:

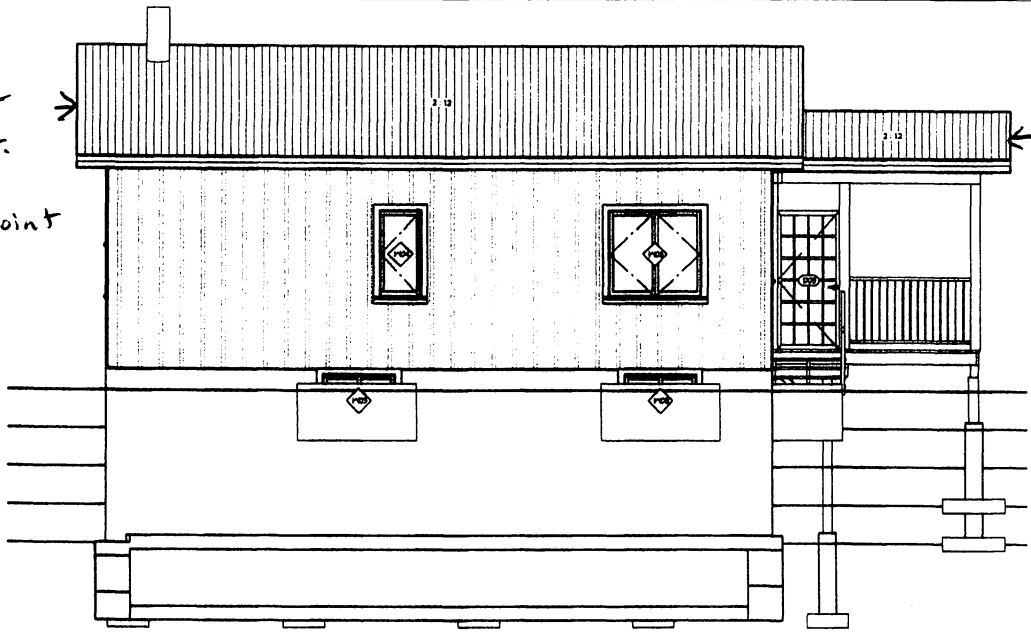
1/4" = 1'

SHEET:

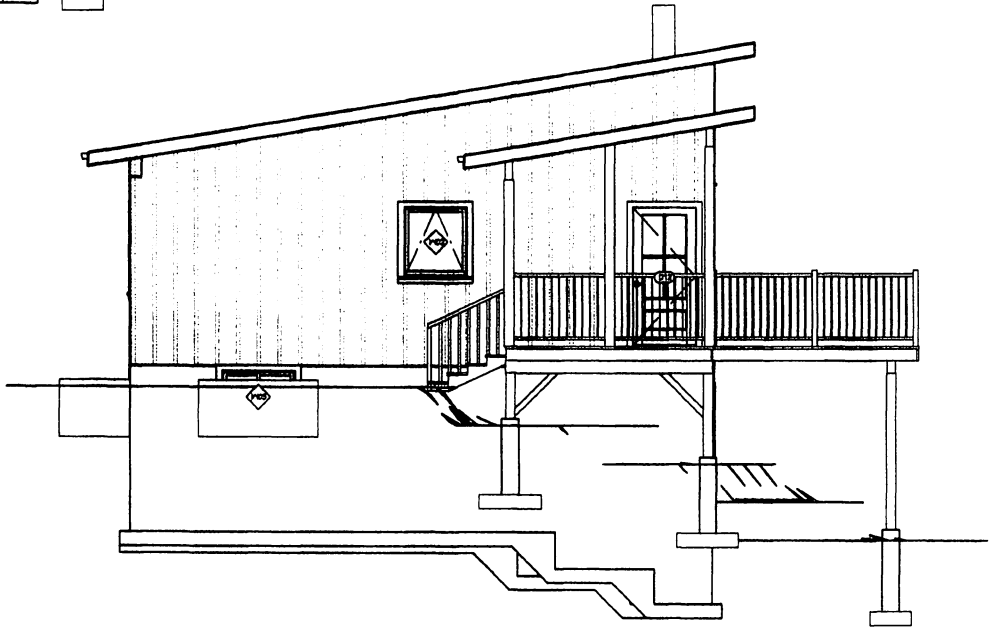
**A-5**

10.5 Ft.  
To midpoint

9.0 ft.  
to midpoint.



Exterior Elevation Back



Exterior Elevation Left



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**Dreams to Designs-42507**  
 Ian Sollitt-36119

PRODUCT DESCRIPTION:

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C of the Building Code and the firm is registered in Saskatchewan.  
 Ian Sollitt

DATE:

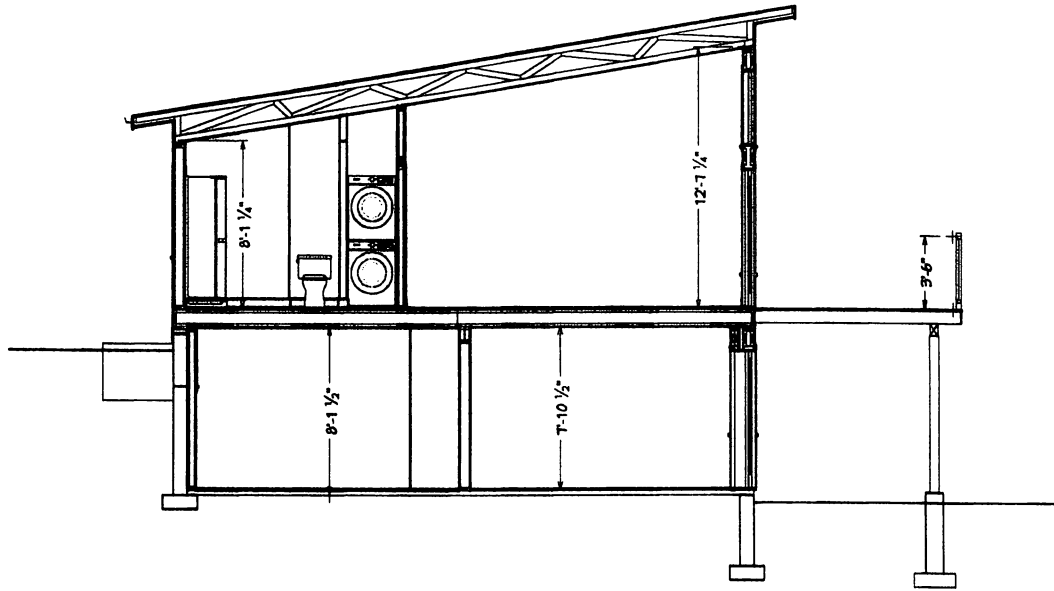
2026-03-23

SCALE:

1/4" = 1'

SHEET:

**A-5**



Cross Section 1



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**Dreams to Designs-42507**

Ian Sollitt-36119

PROJECT DESCRIPTION:

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C of the Building Act. I certify that the design is correct and the firm is registered in Saskatchewan.  
 Ian Sollitt

DATE:

2026-03-23

SCALE:

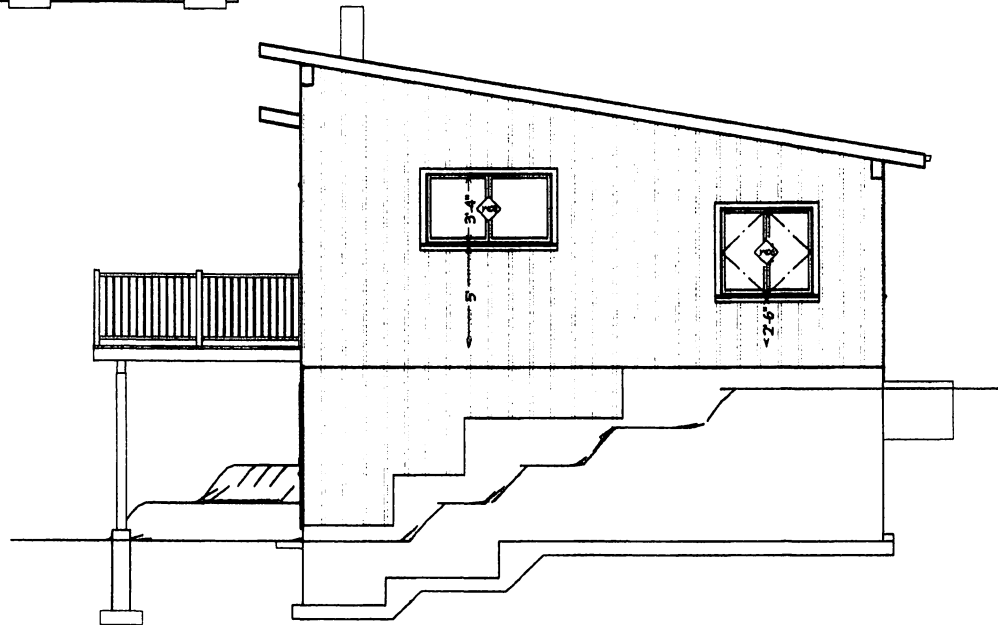
1/4" = 1'

SHEET:

**A-6**



Exterior Elevation Front



Exterior Elevation Right



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**Dreams to Designs-42507**  
 Ian Sollitt-36119

PROJECT DESCRIPTION:

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of the Business Practices and Consumer Protection Act, of the Building Act, and the firm is registered in Saskatchewan.  
 Ian Sollitt

DATE:

2026-03-23

SCALE:

1/4" = 1'

SHEET:

**A-4**