

PLANNING JUSTIFICATION REPORT

752 Peterson Road, Maynooth, Hastings Highlands ON



DESIGN
PLAN
SERVICES
TOWN
PLANNING
CONSULTANTS

DESIGN PLAN SERVICES INC.

DPS JOB NUMBER : 22205

October 4th, 2024

DESIGN PLAN SERVICES INC.

TOWN PLANNING CONSULTANTS

87 Skyway Avenue

Suite 200

Toronto, Ontario

M9W 6R3

Tel: 416.626.5445

designplan.ca

TABLE OF CONTENTS

1.0 INTRODUCTION	1
2.0 SITE CONTEXT & PROPOSAL	3
2.1 Description of Subject Property.....	4
2.2 Description of Proposal.....	5
2.3 Surrounding Context	6
3.0 POLICY & REGULATORY FRAMEWORK	7
3.1 Planning Act, R.S.O 1990, C.P.13	8
3.2 Provincial Policy Statement, 2020	9
3.3 Provincial Planning Statement, 2024	13
3.4 County of Hastings Official Plan, 2018	16
3.5 Municipality of Hastings Highlands Zoning By-law 2004-035	25
4.0 PROPOSED ZONING BY-LAW AMENDMENT	26
5.0 CONCLUSION/OPINION	28
6.0 SUPPORTING DOCUMENTS REVIEWED	30
7.0 SCHEDULES	32

LIST OF FIGURES

FIGURE 1 - SUBJECT PROPERTY

FIGURE 2 - SURROUNDING CONTEXT

FIGURE 3 - COUNTY OF HASTINGS OFFICIAL PLAN, SCHEDULE A - LAND USE DESIGNATION

FIGURE 4 - COUNTY OF HASTINGS OFFICIAL PLAN, SCHEDULE B - NATURAL HERITAGE FEATURES AND AREAS

FIGURE 5 - COUNTY OF HASTINGS OFFICIAL PLAN, SCHEDULE C - AGGREGATE AND MINERAL RESERVES

FIGURE 6 - COUNTY OF HASTINGS INTERACTIVE ZONING MAP - HASTINGS HIGHLANDS ZONING BY-LAW 2004-035

FIGURE 7 - PROPOSED ZONING BY-LAW AMENDMENT SCHEDULE

LIST OF SCHEDULES

SCHEDULE A - ARCHITECTURAL PLANS, PREPARED BY NOAR ARCHITECTS,
DATED SEPTEMBER 19TH, 2024

SCHEDULE B - PROPOSED ZONING BY-LAW AMENDMENT, PREPARED BY
DESIGN PLAN SERVICES INC.

1.0 INTRODUCTION

This Planning Justification Report has been prepared in support of an Amendment to the Municipality of Hastings Highlands Zoning By-law 2004-035 to permit the construction of a new tourist establishment which will consist of 16 resort-style cabins, a lookout tower/cabin, a management/office building, parking facilities, as well as other accessory elements to serve the principal tourist establishment use (the “Proposal”) at the property located at 752 Peterson Road (the “Subject Property”). This Report has been prepared in conjunction with the architectural plans prepared by Noar Architects, dated September 19th, 2024.

The purpose of this Planning Justification Report is to support the proposed site-specific Zoning By-law Amendment (“ZBA”) application being requested, and to review and evaluate the proposed development based on the applicable documents and policies/regulations contained therein, as listed below:

- Planning Act, R.S.O 1990, C.P.13;
- Provincial Policy Statement, 2020;
- Provincial Planning Statement, 2024;
- County of Hastings Official Plan, 2018;
- Municipality of Hastings Highlands Zoning By-law 2004-035.

2.0 SITE CONTEXT & PROPOSAL

2.1 Description of Subject Property

The Subject Property is generally rectangular in shape, with some irregularity along the front lot line abutting Peterson Road and is municipally known as 752 Peterson Road, in the Municipality of Hastings Highlands, in the County of Hastings (see Figure 1). Specifically, the Subject Property is generally located near the north limit of the County of Hastings, in close proximity and to the west of the Maynooth Hamlet. The legal description of the Subject Property is "Part of Lot 8, Concession 16, Geographic Township of Herschel, Municipality of Hastings Highlands, County of Hastings".

The Subject Property fronts onto Peterson Road and a portion of Beaver Pond is located at the rear of the Subject Property. The Subject Property has a frontage of 207.35 metres along Peterson Road, an average depth of approximately 299.57 metres, and a lot area of 5.1 hectares. The topography of the Subject Property is varied and generally, there is a high-point in the approximate centre of the Subject Property where the land then slopes downwards from the high-point on all sides. Further, the Subject Property slopes downwards towards Peterson Road as well as towards the rear lot line from the general centre of the Subject Property, where the high-point is located. There is an existing gravel driveway with access to/from Peterson Road which leads to a gravel parking area located in the south-east portion of the Subject Property, in close proximity to Peterson Road. There is also an existing garage in this area as well as a building that is currently under construction. The building that is currently under construction was approved through a Minor Variance application in 2023. The purpose of the 2023 Minor Variance application was to permit the construction of a 117.55 square metre single family dwelling to be built within 500 metres of lands zoned "MX - Mineral Extractive". The dwelling that is currently under construction is intended to be converted to and used as the management/office building as part of this Proposal. The existing detached garage on the Subject Property will be maintained. Other than the open area where the existing garage and

under-construction dwelling/future management/office building is located, the Subject Property is heavily treed and as noted, a portion of Beaver Pond is located at the rear of the Subject Property.



Figure 1 - Subject Property

Source: DPS

2.2 Description of Proposal

The Proposal is for a new tourist establishment consisting of 16 resort-style cabins, a lookout tower/cabin, a management/office building, a parking area, an internal road to provide access throughout the site, as well as a pool (see Schedule A). As noted previously, the existing garage will be maintained and as will be discussed later in this Report and in great detail within the Functional Servicing and Preliminary Stormwater Management Report (the “FSR/SWM Report”), prepared by Crozier, dated August 2024, seven (7) on-site sewage systems are proposed to service the new tourist establishment. The intent of the Proposal is to maintain as much of the existing trees and vegetation on the Subject Property as possible in order to maintain the rural and naturalized character of the Subject Property. The Proposal requires a site-specific Zoning By-law Amendment to the Municipality of Hastings Highlands Zoning By-law 2004-035 (the “ZBL”) to permit the new tourist establishment. The proposed cabins will be located throughout the Subject Property. The proposed cabins will be accessed by an internal road which will meander through the Subject Property and will have a width of 4m, except the portion of the road between Peterson Road and the open parking area, which will have a width of 6m. The 16 cabins proposed are of an A-frame design, will be two-storeys in height, and will include a living area, a kitchenette, a bathroom, and a utilities room on the first-floor, with a bedroom on the second-floor accessed via an internal staircase. A first-floor porch to provide entrance/exit access, first-floor deck, and second-floor balcony is also proposed for all of the cabins. The proposed lookout tower/cabin is proposed to be accessed via an exterior staircase and consists of a one-floor unit with a balcony/staircase landing, a bed, a kitchenette, a bathroom, and a second balcony. The lookout tower/cabin consists of only two rooms, being the bathroom and all other elements of the cabin are located outside of the bathroom, within one room (save and except for the proposed balconies). The proposed lookout tower/cabin is to be located in the general centre of the Subject Property,

atop the high-point of the Subject Property. The proposed lookout tower/cabin has a height of 21.03m from the top of the concrete pad that the proposed lookout tower/cabin is to be built on top of, to the roof of the lookout tower/cabin. The dwelling which is currently under construction will be converted into a management/office building that will consist of living accommodations such as bedrooms, bathrooms, and a kitchen for the use of the tourist establishment operators/employees. The parking area will be located in generally the same location as where the existing gravel parking area is located but will be expanded slightly to accommodate more parking spaces for the proposed tourist establishment use. Twenty-two (22) parking spaces are proposed within the outdoor parking area in addition to the parking provided within the existing garage that is being maintained. As noted previously, the intent is to maintain, to the extent possible, as much trees and vegetation on the Subject Property and generally, most of the trees and vegetation of the Subject Property, specifically along Peterson Road, is intended to be maintained as it currently exists. However, additional trees/planting are proposed along the south edge of the proposed parking area to provide further screening of the proposed development and parking area from Peterson Road and adjacent properties/dwellings to the south.

As will be discussed below in further detail, the Proposal and associated proposed ZBA is appropriate for the Subject Property, takes into account the unique characteristics of the Subject Property and surrounding area, and is consistent with/conforms to the applicable Provincial and County policies.

2.3 Surrounding Context

As previously noted, the Subject Property is located in the north portion of the County of Hastings, in proximity to the north boundary of the County. More specifically, the Subject Property is located in close proximity to and west of the Hamlet of Maynooth. The Subject Property is located directly fronting onto the north side of Peterson Road and is to the north of Cannon Lake. Generally, in all directions from the Subject Property, it is mostly forested areas with cottage/residential dwellings interspersed throughout the forested areas as well as various lakes and ponds. Further north of the Subject Property is the Lake Saint Peter Hamlet. As noted, the Hamlet of Maynooth is located close to and to the east of the Subject Property. The Hamlet of Birds Creek

is located further south of the Subject Property. There are "Large Extractive" sites located further east and south of the Subject Property as per Schedule A of the County Official Plan. Also, as per Schedule A of the County Official Plan, there are various "Environmental Protection" designated lands in all directions surrounding the Subject Property, with a portion of the Subject Property at the rear being designated "Environmental Protection". The Subject Property is in close proximity to Highway 62 and Highway 127. There are Provincially Significant Wetlands located further west of the Subject Property, as per Schedule A of the County Official Plan.

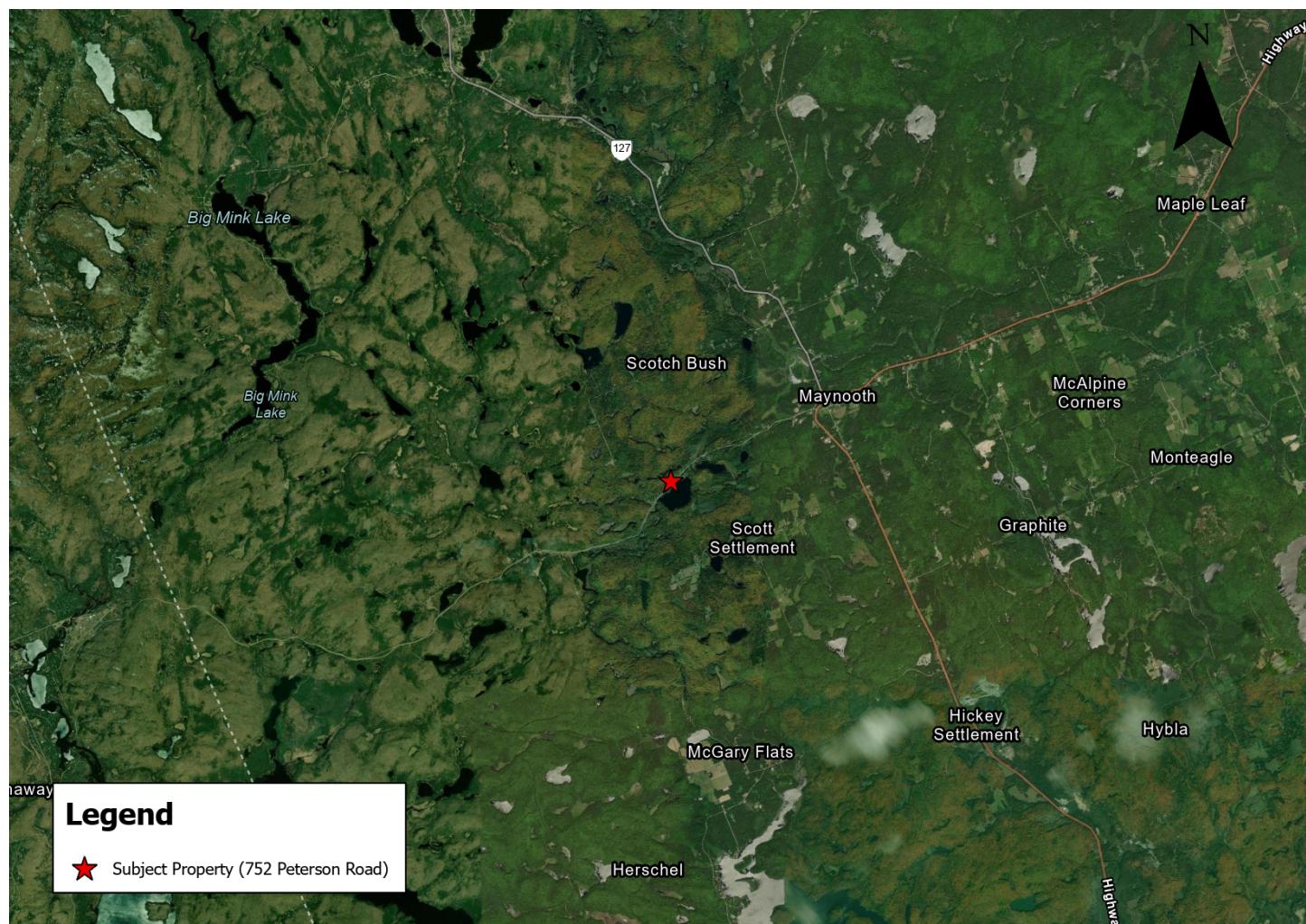


Figure 2 - Location Map

Source: DPS

3.0 POLICY & REGULATORY FRAMEWORK

This section of the Report provides an overview of the policies and regulations applicable to the Subject Property and proposed development including the Planning Act; Provincial Policy Statement 2020; Provincial Planning Statement 2024; County of Hastings Official Plan, 2018; and Municipality of Hastings Highlands Zoning By-law 2004-035.

As per the policy review and analysis provided in the following sections, it is my professional opinion that the proposed development complies with the Planning Act; is consistent with the Provincial Policy Statement, 2020 (the “PPS, 2020”) as

well as the Provincial Planning Statement, 2024 (the “PPS, 2024”), and conforms to the County of Hastings Official Plan (the “County Official Plan”). The proposed development will serve as a positive addition to the County and Municipality, providing for tourism opportunities in a manner that is appropriate for and respectful of the area in which it is located.

3.1 Planning Act, R.S.O. 1990, C. P. 13

The Planning Act is Provincial legislation that establishes the overall regulatory framework for land use planning in Ontario. Matters of Provincial interest are set out in Section 2 of the Planning Act, which the Minister, the Council of a municipality, a local board, a planning board and Tribunal, shall have regard to. The following matters of Provincial interest are relevant to the proposed development:

- a. the protection of ecological systems, including natural areas, features and functions;
- b. the protection of the agricultural resources of the Province;
- c. the conservation and management of natural resources and the mineral resource base;
- e. the supply, efficient use and conservation of energy and water;
- f. the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;
- g. the minimization of waste;
- h. the orderly development of safe and healthy communities;
- k. the adequate provision of employment opportunities;
- o. the protection of public health and safety;
- p. the appropriate location of growth and development;
- r. the promotion of built form that,
 - i. is well-designed,
 - ii. encourages a sense of place, and
 - iii. provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;

Summary Opinion:

Section 3 of the Planning Act states that on matters relating to municipal planning that are of Provincial interest, all decisions shall be consistent with the Provincial Policy Statement and shall conform with the Provincial plans or shall not conflict with them. As will be discussed in this section and below, it is my professional opinion that the Proposal is consistent with the PPS, 2020 as well as the PPS, 2024 and conforms to the County Official Plan.

The Proposal is planned and designed with consideration of all applicable Provincial interests. Typically, new developments are constructed with more efficient building materials, minimizing the energy requirements and associated greenhouse gas emissions. The location of the Subject Property is appropriate and the Proposal provides

a well-designed built-form that encourages a sense of place as the intent of the Proposal is to fit in with the rural character of the area and to maintain a large portion of the Subject Property in its existing condition, being heavily treed and vegetated/in its current naturalized state. As per the submitted Environmental Impact Study (the “EIS”), prepared by Sumach Environmental Consulting, dated September 9th, 2024, provided that the recommendations contained within section 8.2 of the submitted EIS are implemented, negative impacts to the overall form and function of the identified natural heritage on the Subject Property will be appropriately mitigated. Further, the submitted EIS demonstrates, within section 2, that the Proposal is consistent with/conforms to the applicable environmental-related policies and regulations of the PPS, 2020, PPS, 2024, and the County Official Plan. As per Schedule A of the County Official Plan, the Subject Property is designated mostly as “Rural/Waterfront” and is not designated as “Prime Agricultural” or “Extractive” lands and therefore, the Proposal is not anticipated to have an impact on the agricultural or natural and mineral resources of the County and Province. As per the FSR/SWM Report, the proposed development is to be serviced via seven (7) private on-site sewage systems and water is to be supplied via an existing well and a looped watermain system. As per the Hydrogeological Investigation Report (the “HIR”), prepared by Crozier, dated August 2024, the existing on-site well meets the required capacity to provide water supply for the proposed development and that water quality meets all applicable ODWQS standards. As per the FSR/SWM Report, stormwater runoff from the proposed

development will be collected and conveyed through a series of swales and culverts and will outlet to existing stormwater outlets, mimicking pre-development conditions. The FSR/SWM Report further notes that site grading will aim to retain the majority of the natural topography and vegetation of the Subject Property and erosion and sediment controls will be implemented prior to construction and will be maintained to the satisfaction of the County, Municipality, and Site Engineer until the site is stabilized. The FSR/SWM Report concludes that based on the findings within the Report, the proposed development is supportable from a functional servicing and preliminary stormwater management perspective. On that basis, the Proposal does have regard for Provincial Interests (e) and (f). The Proposal provides for economic opportunities by facilitating tourism opportunities within the County and by providing for employment opportunities for the future employees of the proposed new tourist establishment.

The Proposal is planned and designed to have regard for all of the Provincial Interests indicated above. The proposed development makes efficient use of existing land by providing for a new tourist establishment that will facilitate tourism opportunities in a manner that is appropriate and in keeping with the rural and natural character of the area and Subject Property. The Proposal complies with the Planning Act, R.S.O., 1990 and as is detailed below, is consistent with the PPS, 2020, PPS, 2024, and conforms to the County Official Plan.

3.2 Provincial Policy Statement, 2020

The PPS, 2020 was issued under Section 3 of the Planning Act and came into effect on May 1, 2020. It replaces the Provincial Policy Statement issued on April 30, 2014. It was approved by the Lieutenant Governor in Council, Order in Council

No.229/2020.

The Provincial Policy Statement sets out high-level policy goals for land-use planning in Ontario. It promotes efficient development and uses of

land, long-term economic prosperity, careful use and management of natural resources and public health and safety. The policies applicable to the Proposal are addressed below:

1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

The policies in Part V, section 1.1 provides policy direction on managing and directing land use to achieve efficient development and land use patterns. The Proposal will contribute to the already existing healthy, livable, and safe community by meeting the following policies:

1.1.1 Healthy, livable and safe communities are sustained by:

- a. promoting efficient development and land use patterns which sustain the financial wellbeing of the Province and municipalities over the long term;
- b. accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, and additional residential units), employment, institutional, recreation, park and open space, and other uses to meet long-term needs;
- c. avoiding development and land use patterns which may cause environmental or public health and safety concerns;
- d. avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;
- e. ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;
- f. promoting development and land use patterns that conserve biodiversity; and
- i. preparing for the regional and local impacts of a changing climate.

The Proposal is consistent with the policies identified within section 1.1.1 as identified above. The introduction of a new tourist establishment on the Subject Property represents efficient development and land use pattern as it makes use of a site that is appropriate for a proposal of this nature while still fitting in with the rural and natural character of the area and will maintain a large portion of the Subject Property in its current naturalized state. The Proposal contributes to the financial well-being of the Province over the long-term by providing opportunities for tourism within the County as well as providing new employment opportunities. The Proposal represents an appropriate use for the Subject Property, will contribute to the mix of uses within the County as a whole, and will provide recreational tourism opportunities for residents of the County as well as potential patrons of the new tourist establishment from other jurisdictions. The Proposal avoids development and land use patterns which may cause environmental or public health and safety concerns. As per the submitted EIS, negative impacts to the overall form and function of the identified natural heritage on the Subject Property will be appropriately mitigated, provided the recommended mitigation measures within section 8.2 of the Report are implemented. Further, the submitted FSR/SWM Report and HIR demonstrate that the Proposal is supportable and appropriate from a servicing, preliminary stormwater management, and hydrogeological perspective. The FSR/SWM Report also notes that site grading is intended to be minimal. Although the Subject Property is in relatively close proximity to the Hamlet of Maynooth, the Subject Property is still approximately 3+ kilometres away and will not prevent the efficient expansion of the Hamlet of Maynooth, should the Hamlet of Maynooth ever expand. Moreover, Policy 2.4.3 of the County Official Plan states that “Growth forecasts involving population, housing, and employment lands projections for a 20-year planning period determined that there were sufficient lands already designated “Urban” within the former Hastings County Official Plan, 2002. As such, expansions to the boundaries

of the six urban areas are not warranted at the time this Plan comes into effect". The intent of the Proposal is to maintain, to the extent possible, as much of the existing trees and vegetation on the Subject Property in order to conserve biodiversity as well as to respect the existing rural and natural character of the area in which the Subject Property is located. As such, the proposed development will be consistent with section 1.1.1 of the PPS, 2020.

1.1.4 Rural Areas in Municipalities

Section 1.1.4 sets out policies regarding rural areas, and the following policies are relevant to the Proposal:

1.1.4.1 Healthy, integrated and viable rural areas should be supported by:

- a. building upon rural character, and leveraging rural amenities and assets;
- e. using rural infrastructure and public service facilities efficiently;
- f. promoting diversification of the economic base and employment opportunities through goods and services, including value-added products and the sustainable management or use of resources;
- g. providing opportunities for sustainable and diversified tourism, including leveraging historical, cultural, and natural assets;
- h. conserving biodiversity and considering the ecological benefits provided by nature;

1.1.4.4 Growth and development may be directed to rural lands in accordance with policy 1.1.5, including where a municipality does not have a settlement area.

The Proposal directly implements the above-noted PPS, 2020 policies. The Proposal will build upon the rural character of the area by providing a new tourist establishment that fits within the rural area in which it is situated. The proposed new tourist establishment consists of cabins for sleeping

accommodation and the intent is to maintain, to the extent possible, as much of the Subject Property in its current naturalized state. The rural and biodiverse character of the area and of the Subject Property is integral to the proposed new tourist establishment considering it is intended to provide camping opportunities and opportunities to experience the outdoors/the natural environment of the Subject Property and area. The Proposal makes efficient use of existing infrastructure considering the Subject Property has existing direct access from Peterson Road and will be serviced with private servicing that is supported by the submitted FSR/SWM Report and HIR. The Proposal will contribute to the diversification of the economic base and employment by providing employment opportunities within the area where the Subject Property is located. Specifically, the Proposal directly implements Policy 1.1.4.1(g) by providing a new tourist establishment opportunity that leverages the natural assets of the area. The intent of the Proposal is to maintain, to the extent possible, as much of the existing trees and vegetation on the Subject Property in order to maintain the rural and natural character of the Subject Property and as per the submitted EIS, negative impacts to the overall form and function of the identified natural heritage on the Subject Property will be appropriately mitigated, provided the recommended mitigation measures noted in section 8.2 of the EIS are implemented.

1.1.5 Rural Lands in Municipalities

Section 1.1.5 sets out policies regarding rural lands in municipalities, and the following policies are relevant to the proposed development:

1.1.5.2 On rural lands located in municipalities, permitted uses are:

- b. resource-based recreational uses (including recreational dwellings);

1.1.5.3 Recreational, tourism and other economic opportunities should be promoted.

1.1.5.4 Development that is compatible with

the rural landscape and can be sustained by rural service levels should be promoted.

1.1.5.5 Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the unjustified and/or uneconomical expansion of this infrastructure.

1.1.5.7 Opportunities to support a diversified rural economy should be promoted by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.

1.1.5.8 New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

stopping sight distance, and intersection sight distance. As per Schedule A of the County Official Plan, the Subject Property is not designated as "Prime Agricultural" lands nor is it designated as "Extractive" lands and it is also not located in very close proximity to lands used for such purposes. Therefore, the Proposal will protect agricultural and other resource-related uses and directs non-related development to an area where it will minimize constraints on these uses. No minimum distance separation formulae has been calculated/provided with this application however, through pre-consultation and discussions with Municipal Staff regarding this Proposal, no concerns have been raised thus far related to the Proposals compliance with the minimum distance separation formulae. Moreover, the Subject Property is not located in proximity to lands designated as "Prime Agricultural" and therefore, it is anticipated that the Proposal will not have any negative impacts on agricultural lands and will not necessitate a minimum distance separation formulae calculation.

1.6 Sewage, Water, and Stormwater

Section 1.6 sets out policies regarding servicing and stormwater management, and the following policies are relevant to the proposed development:

1.6.6.4 Where municipal sewage services and municipal water services or private communal sewage services and private communal water services are not available, planned or feasible, individual on-site sewage services and individual on-site water services may be used provided that site conditions are suitable for the long-term provision of such services with no negative impacts. In settlement areas, individual on-site sewage services and individual on-site water services may be used for infilling and minor rounding out of existing development.

As per the submitted FSR/SWM Report and HIR, sanitary servicing will be provided for the Proposal via seven (7) private on-site sewage systems,

and that water servicing will be provided via an existing well and looped watermain system. The submitted FSR/SWM Report and HIR support the Proposal from a functional servicing, preliminary stormwater management, and hydrogeological perspective. The submitted FSR/SWM Report and HIR do not identify any negative impacts as a result of the proposed site servicing.

Summary Opinion:

It is my opinion that the proposed development is consistent with the policies of the PPS, 2020. The Subject Property is located within the Township of Hastings Highlands and the Proposal is supported from a functional servicing, preliminary stormwater management, hydrogeological, and environmental perspective as per the submitted FSR/SWM Report, HIR, and the EIS. Specifically,

natural heritage policies contained within section 2.1 of the PPS, 2020 are addressed within the submitted EIS. The Proposal represents an opportunity to provide a new tourist establishment that makes efficient use of the natural resources of the County and Municipality in a manner that is in keeping with the rural and natural character of the area. It is my opinion that the proposed development is an appropriate form of redevelopment for the Subject Property. The Proposal represents an efficient use of land, resources, and infrastructure. Therefore, the proposed development is consistent with the policies of the PPS, 2020.

3.3 Provincial Planning Statement, 2024

The Province of Ontario has recently released the Provincial Planning Statement, which will come into effect on October 20, 2024 (the “PPS, 2024”). The Provincial Planning Statement will replace the PPS, 2020 and A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2020. This Plan proposes that all municipalities should support intensification throughout the built-up area, align development with infrastructure to build a strong and competitive economy, foster the long-term viability of rural areas, and protect agricultural lands, the environment, public health and safety.

Similar to the PPS, 2020, the Provincial Planning Statement, 2024 sets out high-level policy goals for land-use planning in Ontario. It promotes efficient development and uses of land, long-term economic prosperity, careful use and management of natural resources and public health and safety. The policies applicable to the Proposal are addressed below:

Chapter 2: Building Homes, Sustaining Strong and Competitive Communities

The policies in Chapter 2 provide policy direction on managing and directing land use to achieve efficient development and land use patterns. The applicable and relevant policies as it pertains to the Proposal are addressed below:

2.1.6 Planning authorities should support the achievement of complete communities by:

- a. accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated child care facilities, long-term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;

The Proposal represents an appropriate use of the Subject Property which will contribute to the mix of uses in the area. The Proposal consists of a new recreational use that will fit in with the rural and natural character of the area and will provide new employment and tourism opportunities within the Municipality and County.

2.5.1 Healthy, integrated and viable rural areas should be supported by:

- a. building upon rural character, and leveraging rural amenities and assets;
- d. using rural infrastructure and public service facilities efficiently;
- e. promoting diversification of the economic base and employment opportunities through goods and services, including value-added products and the sustainable management or use of resources;
- f. providing opportunities for sustainable and diversified tourism, including leveraging historical, cultural, and natural assets;
- g. conserving biodiversity and considering the ecological benefits provided by nature;

individual on-site sewage systems as well as an existing well which is supported from a functional servicing, preliminary stormwater management, and hydrogeological perspective as per the submitted FSR/SWM Report and HIR. The Proposal will contribute to the diversification of the economic base by providing new employment opportunities associated with the proposed new tourist establishment. The Proposal directly contributes to providing tourism opportunities which leverages the natural assets of the area and of the Subject Property by providing a new tourist establishment on the Subject Property. It is the intent of the Proposal to minimize tree/vegetation removal as much as possible so as to maintain the naturalized character of the Subject Property and as per the submitted EIS, the Proposal will appropriately mitigate negative impacts to the overall form and function of the identified natural heritage on the Subject Property, provided that the recommendations contained within section 8.2 of the Report are adhered to.

2.6.1 On rural lands located in municipalities, permitted uses are:

- b. resource-based recreational uses (including recreational dwellings not intended as permanent residences);

2.6.2 Development that can be sustained by rural service levels should be promoted.

2.6.3 Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the uneconomical expansion of this infrastructure.

2.6.4 Planning authorities should support a diversified rural economy by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.

2.6.5 New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance

The Proposal directly implements the above noted policies of the PPS, 2024. The Proposal will build upon the rural and natural character of the area by maintaining a large portion of the Subject Property in its naturalized state as the intent is to minimize development and disturbance on the Subject Property to the greatest extent possible. Moreover, the proposed accommodation cabins will be interspersed throughout the Subject Property so as to spread development throughout the Subject Property. The Proposal will specifically leverage rural amenities and assets by providing tourism opportunities to allow patrons of the proposed tourist establishment to experience the rural and natural amenities and assets of the area and of the Subject Property. The Proposal efficiently uses rural infrastructure considering it already has direct access to Peterson Road and will continue to utilize such access from Peterson Road. The Proposal will be serviced via private

separation formulae.

Similar to the discussion regarding the PPS, 2020, the Proposal consists of a permitted use as per the PPS, 2024 for “Rural Lands” and directly implements policy 2.6.1(b) by providing a new tourist establishment use on the Subject Property. Further, the Proposal is compatible with the rural landscape as the proposed new tourist establishment is intended to function as a camping site for future patrons of the facility with the natural assets of the Subject Property and area being a focal point for the proposed new tourist establishment. It is the intent of the Proposal to maintain, to the extent possible, the existing condition of the Subject Property and as much existing trees and vegetation as possible. The Proposal can be serviced by the rural service levels of the area. As per the FSR/SWM Report and HIR, the Proposal can be supported from a functional servicing, preliminary stormwater management, and hydrogeological perspective. Further, the submitted TIB notes that due to the low volume of trips generated by the Proposal, traffic operations on the study roadway are not expected to be impacted significantly and that site access exceeds TAC requirements outlined for corner clearance, stopping sight distance, and intersection sight distance. As per Schedule A of the County Official Plan, the Subject Property is not designated as “Prime Agricultural” lands nor is it designated as “Extractive” lands and it is also not located in very close proximity to such lands used for such purposes. Therefore, the Proposal will protect agricultural and other resource-related uses and directs non-related development to an area where it will minimize constraints on these uses. No minimum distance separation formulae has been calculated/provided with this application however, through pre-consultation and discussions with Municipal Staff regarding this Proposal, no concerns have been raised thus far related to the Proposals compliance with the minimum distance separation formulae. Further, given the context and land uses surrounding the Subject Property, it is not anticipated that a minimum distance separation formulae will be

required.

3.6 Sewage, Water, and Stormwater

Section 3.6 sets out policies regarding servicing and stormwater management, and the following policies are relevant to the proposed development:

3.6.4 Where municipal sewage services and municipal water services or private communal sewage services and private communal water services are not available, planned or feasible, individual onsite sewage services and individual on-site water services may be used provided that site conditions are suitable for the long-term provision of such services with no negative impacts.

As per the FSR/SWM Report and HIR, sanitary servicing will be provided for the Proposal via seven (7) private on-site sewage systems, and that water servicing will be provided via an existing well and looped watermain system. The submitted FSR/SWM Report and HIR support the Proposal from a functional servicing, preliminary stormwater management, and hydrogeological perspective. The submitted FSR/SWM Report and HIR do not identify any negative impacts as a result of the proposed site servicing.

Summary Opinion:

It is my opinion that the proposed development is consistent with the policies of the PPS, 2024. The Subject Property is located within the Township of Hastings Highland and the Proposal is supported from a functional servicing, preliminary stormwater management, hydrogeological, and environmental perspective as per the submitted FSR/SWM Report, HIR, and EIS. Specifically, natural heritage policies set out within Section 4.1 of the PPS, 2024 are addressed in detail within the submitted EIS. The Proposal represents an opportunity to provide a new tourist establishment that makes efficient use of the natural resources of the County and Municipality in a manner that is in keeping with

the rural and natural character of the area. It is my opinion that the proposed development is an appropriate form of redevelopment. The Proposal represents an efficient use of land, resources,

and infrastructure. Therefore, the proposed development is consistent with the policies of the PPS, 2024.

3.4 County of Hastings Official Plan, 2018

The County of Hastings Official Plan was adopted by Hastings County Council on December 19th, 2017 and was approved and modified by the Ministry of Municipal Affairs and Housing on August 3rd, 2018.

The County Official Plan sets out policies for land-use planning in the County. The goals of the County Official Plan include, but are not limited to, promoting and sustaining the efficient development and financial well-being of Municipalities and the Province; to promote land use patterns that will facilitate healthy, active, livable, age-friendly, safe communities, that are resilient and responsive to climate change; and to discourage land use patterns that pose a threat to the environment and/or public health and safety.

The Subject Property is dually designated “Rural/Waterfront” and “Environmental Protection” (see Figure “3”). However, a majority of the Subject Property falls within the “Rural/Waterfront” designation whereas only a small portion of the Subject Property towards the rear of the lot is within the “Environmental Protection” designation. The policies applicable to the Proposal are addressed below:

3.0 SECTION III – INFRASTRUCTURE & PUBLIC SERVICE FACILITIES

3.4 Private Sewer and Water Servicing

3.4.1 Where municipal sewage services and municipal water services or private communal sewage services and private communal water services are not provided, individual on-site sewage services and individual on-site



Figure 3 - County of Hastings Official Plan, Schedule A - Land Use Designations

Source: County of Hastings Official Plan

water services may be used provided that site conditions are suitable for the long-term provision of such services with no negative impacts. In settlement areas, these services may only be used for infilling and minor rounding out of existing development.

As per the submitted FSR/SWM Report and HIR, sanitary servicing will be provided for the Proposal via seven (7) private on-site sewage systems, and that water servicing will be provided via an

existing well and looped watermain system. The submitted FSR/SWM Report and HIR support the Proposal from a functional servicing, preliminary stormwater management, and hydrogeological perspective. The submitted FSR/SWM Report and HIR do not identify any negative impacts as a result of the proposed site servicing.

4.0 SECTION IV – SUSTAINABLE NATURAL ENVIRONMENT & RESOURCES

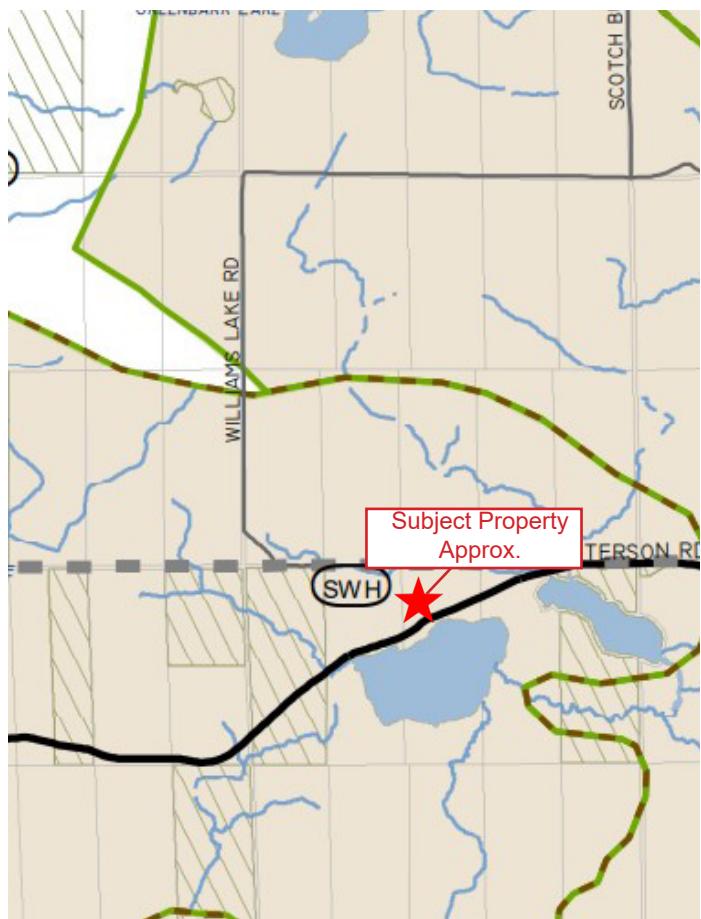


Figure 4 - County of Hastings Official Plan, Schedule B - Natural Heritage Features and Areas

Source: County of Hastings Official Plan

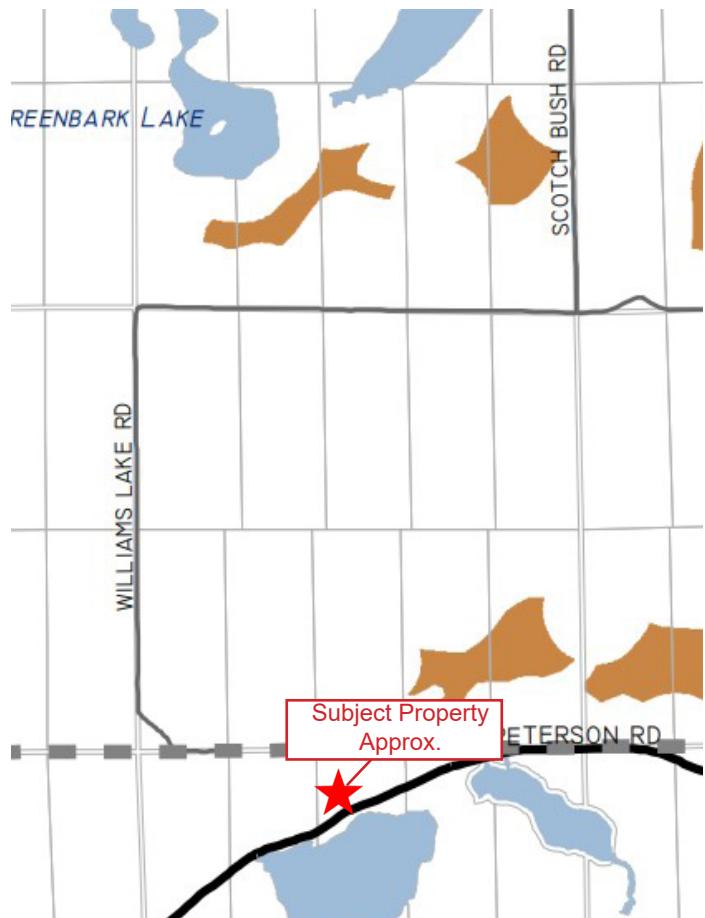


Figure 5 - County of Hastings Official Plan, Schedule C - Aggregate and Mineral Resources

Source: County of Hastings Official Plan

4.5 ENVIRONMENTAL PROTECTION LAND USE DESIGNATION

4.5.2 Permitted Uses

4.5.2.1 The uses permitted on lands designated 'EP' or 'EP-W' are limited to existing agricultural uses, managed forestry, conservation uses which improve the ecological functions of the natural features, wildlife management, uses of a scientific or educational nature and appropriate passive recreational uses that will not have a negative impact on the natural features. Active outdoor recreational uses such as golf courses, golf driving ranges and paint ball activities shall be prohibited.

4.5.2.6 Development and site alteration shall not be permitted within or adjacent to lands designated Environmental Protection as required within this Plan. Exceptions may be considered in accordance with the policies of this Plan provided that the ecological function of the natural feature, where it constitutes a natural heritage feature, has been evaluated and it has been demonstrated that there will be no negative impacts on the natural feature or on its associated ecological functions.

The submitted EIS addresses the relevant and applicable natural environment and resources policies set out within Section 4 of the County Official Plan. As per Section 8.1 of the submitted EIS, the Proposal will appropriately mitigate negative impacts to the overall form and function of the identified natural heritage on the Subject Property, provided the recommended mitigation measures set out within Section 8.2 of the Report are implemented. Further, the Report states that the Proposal will not contravene applicable environmental policy and regulations as detailed within Section 2 of the submitted EIS. On that basis, the Proposal conforms to the above-noted and other applicable policies as per Section 4 of the County Official Plan.

5.0 SECTION V – EMERGING RURAL ECONOMY

5.4 Rural and Waterfront Land Use Designation

5.4.1.1 The “Rural and Waterfront” land use designation includes those lands located outside any other land use designation identified in Land Use Designation Schedule OP-A of this Plan and permits a range of uses as detailed in Part V of this Plan.

5.4.1.2 An important sub-category in the “Rural and Waterfront” designation is the Waterfront area. The Waterfront area attracts most of the second-home/cottage development and tourist commercial activity and is vulnerable to degradation through overuse. Promoting and

implementing proper land use planning in the Waterfront area is important for maintaining its long-term environmental integrity. Where appropriate, this Plan has developed specific planning policies for the Waterfront area in order to achieve this objective. Within the “Rural and Waterfront” designation, the Waterfront area is defined as those lands extending inland 300 metres from the high water mark of lakes and 30 metres from the high water mark of any other navigable water body. Where the land use relates physically or functionally to the water body, although it extends 30 metres beyond the water body, it shall be deemed to be within the Waterfront area. Lands that form part of the waterbed of any navigable water body shall generally be considered as part of the Waterfront area. The beds of waterbodies are public land in Ontario, and construction in these areas may require the approval of the Ministry of Natural Resources and Forestry (MNRF). The Waterfront area does not extend within any limit of an “Urban”, “Hamlet” or “Agricultural” designation.

5.4.1.4 Development is generally serviced by private individual water and sewage systems and is located in close proximity to existing public roads.

5.4.1.5 Development is and will continue to be generally characterized by low density in an effort to avoid overcrowding of the rural areas and environmental problems associated with the cumulative effects of individual servicing, with lots that are generally large with development occupying a small portion of the lot.

5.4.2 Permitted Uses

5.4.2.1 The permitted uses and activities of the Rural and Waterfront designation shall relate to the management or use of resources, resource-based recreational uses (including recreational dwellings), limited residential

development, home occupations and home industries, and other rural land uses; more specifically as follows:

- a. Rural development that respects traditional features of the landscape, such as historic fence lines and treelines, and generally maintain the rural character of the area by maintaining, on average, large and flexible parcel sizes;
- c. Commercial and tourism development which relates to the rural economy, tourism and the travelling public including antique shops, service stations, farm market stands and eating establishments in accordance with Part A - Section 5.6 and other policies of this Plan;

The Proposal consists of a permitted use within the “Rural and Waterfront” designation. As detailed within the submitted FSR/SWM Report and HIR, the Proposal is to be serviced via private individual on-site sewage systems as well as an existing well. The Subject Property directly fronts onto Peterson Road and has existing access to Peterson Road. The Proposal can be considered as relatively low-density development relative to the size of the lot as the intent of the Proposal is to maintain a large portion of the Subject Property in its naturalized state and for development to occupy only a small portion of the Subject Property relative to the total size of the lot.

5.4.3 Access Policies

5.4.3.1 New development in the Rural and Waterfront designation, wherever possible, will have frontage on and access from a year round maintained public road which is deemed by the appropriate road authority to be in a condition appropriate for the use proposed and can accommodate the additional traffic.

5.4.3.3 A private right-of-way or private road is defined as a road under private ownership which serves two or more legally conveyable lots and may include a right-of-way registered

on title. A driveway, by contrast, provides access to and is located on only one property or legally conveyable lot, despite the length of the driveway. A driveway also includes a shared or mutual driveway between two abutting properties.

The Subject Property has existing access to Peterson Road and the Proposal will utilize the existing access. Confirmation is required from Municipal Staff regarding whether Peterson Road is maintained year-round however, it is a public road and as per the submitted TIB, due to the low volume of trips generated by this development, traffic operations on the study roadway are not expected to be impacted significantly. Therefore, it was determined that traffic operations on the study roadway do not need to be analyzed. Further, the TIB notes that the Proposal is compliant with parking requirements and that the site access review found the proposed site access exceeds TAC requirements outlined for corner clearance, stopping sight distance, and intersection sight distance. Internal circulation for the proposed development is provided via a 4m wide internal private road however, the internal private road is 6m in width from the site access to Peterson Road to the open parking area.

5.4.4 Servicing Policies

5.4.4.1 In general, development or redevelopment in the Rural and Waterfront designation will be serviced by private individual water and sewage systems, with the exception of tourist commercial development where private communal services may be considered, as provided for in Part A - Section 3.3.

5.4.4.4 Stormwater management and construction mitigation for erosion/sediment control shall be provided on site as required.

As per the submitted FSR/SWM Report and HIR, the Proposal will be serviced via individual on-site sewage systems as well as an existing

well. The submitted FSR/SWM Report and HIR are supportive of the Proposal from a functional servicing, preliminary stormwater management, and hydrogeological perspective. Stormwater management and erosion and sediment control are detailed further within the submitted FSR/SWM Report.

5.4.5 Pattern of Development and Waterfront Policies

5.4.5.3 The following planning principles are to guide future development in the Rural and Waterfront designation, as appropriate for the specific use and the area:

- a. Development should not take place on lands having environmental constraints and is discouraged in areas possessing important natural characteristics unless it can be demonstrated that there will be no negative impact on the feature or its ecological function in accordance with the policies of this Plan;
- b. The natural landscape should prevail with built form blending into the landscape;
- c. Natural shorelines and vegetative buffers will be retained, maintained and/or restored;
- d. Native species should be used for buffers and where vegetation is being restored;
- e. Measures such as changes to proposed lot lines and increased setbacks should be utilized to help address potential negative impacts to natural heritage features and the environment;
- f. Structural development will maintain a low structural profile and will not create a new skyline or ridgeline above the existing tree canopy;
- g. Building mass and coverage should be limited in relation to the size and frontage of the property and be in keeping with the character of the surrounding area; and,
- i. Building envelopes, including the careful siting of shoreline structures, and the

associated activity area should be defined and located in the most appropriate locations on the property, leaving the remainder of the property generally in its natural state.

Although the Proposal is on lands having environmental constraints, the submitted EIS, demonstrates that the Proposal will appropriately mitigate negative impacts to the overall form and function of the identified natural heritage on the Subject Property, provided the recommended mitigation measures as set out within Section 8.2 of the submitted EIS are implemented. It is the intent of the Proposal to blend the proposed built-form into the natural landscape of the Subject Property so as to preserve the natural character of the Subject Property which will serve as a focal point for the proposed new tourist establishment. The proposed building massing and coverage is limited in relation to the size of the Subject Property and is interspersed throughout the Subject Property to appropriately fit into the existing landscape. The Proposal has been designed with careful consideration and building envelopes are proposed in appropriate locations while maintaining a large portion of the Subject Property in its naturalized state.

5.6 Commercial and Tourism Development

5.6.1 Permitted Uses and General Policies

5.6.1.1 The permitted uses in the Rural and Waterfront designation shall include small scale commercial uses which relate to the rural economy, tourism for the travelling public including arts and crafts and antique shops, service stations, trailer and boat sales and service, boat storage areas, flea market and farm market stands, eating establishments, convenience stores, home businesses and bed and breakfast establishments in accordance with Part A - Section 7.3.8 of this Plan. Tourist establishments, marinas and tent and trailer parks may be permitted in accordance with the detailed policies of this Plan.

5.6.1.2 There are emerging creative and cultural economies in the County being energized by various contributors including the settlement of retired professionals, a burgeoning arts, culture and creative cultural industries community, and bringing the history of communities, agriculture, forestry and mining to life along our main streets, recreational trails and in a variety of museums, festivals and events.

5.6.1.3 The County continues implementation of its Tourism Master Plan, in addition to its various cultural facilities and amenities. These projects help further co-ordinate, define and promote the unique tourism and cultural facilities and quality of place available within the County of Hastings. In addition, the implementation of the County's Tourism Master Plan helps to enhance the unique sense of place available in the County and further network and stimulate the local tourism economies.

5.6.1.4 The County will implement a focused branding strategy that promotes Hastings County as a tourist destination and develops a marketing package including tourism opportunities such as natural/outdoor recreation opportunities, logging tours, mining tours, agriculture farm gate and cheese route tours, scenic driving tours, an arts route and the like.

The Proposal consists of a use that is permitted within the "Rural and Waterfront" designation as per policy 5.6.1.1. The proposed tourist establishment will serve to contribute to the establishment of the County as a tourism destination and will provide new tourist opportunities for the public. Specifically, the proposed tourist establishment will highlight the natural and rural character of the County and area considering it is intended to facilitate camping opportunities that will allow patrons of the establishment to experience the outdoors and natural environment.

5.6.1.5 Location and design considerations for commercial uses in the Rural and Waterfront designation may include but are not necessarily limited to the following:

a. Rural commercial uses are encouraged to locate in compact nodes at centralized areas, such as major road intersections and grouped in such a manner that the surrounding rural landscape and scenic views are retained. Strip or ribbon commercial development, especially along the fringe areas close to urban centres and hamlets is discouraged.

The Proposal is a tourist establishment and not a rural commercial use. However, the Subject Property is located in close proximity to the Hamlet of Maynooth and intends to retain much of the existing rural landscape and scenic views of the Subject Property and surrounding area.

b. Rural commercial uses shall be located so that, wherever possible, they are readily accessible to tourist traffic either by water or by public road without passing through residential areas in order to avoid disruption to the residential area. The standard of road shall be adequate for the proposed use or shall be upgraded at the proponent's expense.

As noted above, the proposed use is a tourist establishment and not a rural commercial use. However, the Subject Property has direct access to Peterson Road and is readily accessible for future patrons.

c. In reviewing applications for tourist commercial development, a member Council shall ensure that the area is suitable for recreation use and that the natural environment, open space character and scenic qualities of the area are protected.

The Subject Property is an appropriate location and is within an appropriate area for the proposed

tourist establishment. The Subject Property has direct access to Peterson Road and is also large enough to accommodate the proposed tourist establishment while still maintaining a large portion of the Subject Property in its naturalized state. It is the intention of the Proposal to maintain most of the existing trees and vegetation along the frontage abutting Peterson Road and due to the topography of the Subject Property, which slopes upwards from Peterson Road, the proposed tourist establishment will be screened quite extensively by vegetation and will be difficult to perceive from the street as well as from adjacent and surrounding properties. Moreover, it is the intent of the Proposal to maintain much of the existing natural environment, and open space character of the Subject Property as a key component of the proposed use is to highlight and provide access to the natural environment of the area and of the Subject Property.

d. Access points to and from roads shall be limited to safe locations, be restricted in number and constructed in accordance with the requirements of the appropriate highway or road authority.

The Proposal will utilize an existing access to/from the Subject Property which connects directly to Peterson Road. Only one access point is provided and based on the submitted TIB, the proposed access exceeds TAC requirements outlined for corner clearance, stopping sight distance, and intersection sight distance.

e. Advertising signs, lighting fixtures and other site features shall be carefully located in keeping with good site design and highway safety practices in order to maintain a high level of safety and a pleasing appearance.

Details regarding advertising signs, lighting fixtures, and certain site features have not been determined yet but will be further advanced through the Site Plan Application process and it is the intent of the Proposal to locate such features in a manner that is in conformity with this policy.

f. Adequate off-street parking and loading areas shall be provided relative to the needs of the individual uses.

Off-street parking is provided for the proposed new tourist establishment. As per the submitted TIB, the proposed parking supply exceeds the Municipality's ZBL requirements for this use and has a surplus of 5 parking spaces and 1 accessible parking space. An appropriately sized parking area is provided internal to the Subject Property to provide space for any loading activities associated with the proposed new tourist establishment.

g. An internal road system which will allow ease of access for emergency vehicles and provide for fire route considerations as necessary.

An internal road system that is mostly 4m in width (small portion where the internal road intersects with the parking area and Peterson Road is 6m in width) is provided to provide access throughout the Subject Property and to all proposed buildings/ structures.

h. Appropriate water supply and sanitary sewer services without negatively impacting on neighbouring uses and wells.

As per the submitted FSR/SWM Report and HIR, the proposed private on-site sewage systems and the use of the existing well can be supported from a functional servicing and hydrogeological perspective. No concerns have been raised within the FSR/SWM Report or HIR which speak to negative impacts on neighbouring uses and wells.

i. Where commercial uses abut residential uses, adequate buffering and screening shall be provided to protect the amenities of the residential uses.

The Proposal does provide adequate buffering and screening to the nearby rural residential uses. It is the intent of the Proposal to maintain

most of the existing trees and vegetation along the front lot line which abuts Peterson Road, which will provide for relatively extensive screening to the proposed tourist establishment from the adjacent rural residential uses to the south. Further, the new tourist establishment consists of 16 separate cabins as well as the lookout tower/cabin which will be interspersed throughout the Subject Property among the existing trees and vegetation and most of the proposed new cabins will be setback significantly from Peterson Road. The proposed management building and parking area will be located in close proximity to Peterson Road however, existing and if necessary, proposed new trees and vegetation will provide screening for this area and due to the topography of the Subject Property, this area will be located higher than Peterson Road and the adjacent rural residential uses to the south which provides vertical separation distance as well as further screening due to the slope of the Subject Property down to Peterson Road.

j. Provisions to implement recommendations of studies where applicable.

Recommendations of studies provided are intended to be implemented and the owner has indicated a willingness to work with County and Municipal Staff to ensure all recommendations of the provided studies are implemented. Specifically, this can be done through the Site Plan Application process and such recommendations can be included as part of the Site Plan Agreement that will need to be executed.

5.6.1.7 Commercial development shall be placed in an appropriate zone category and may be subject to site plan control approval.

The proposed ZBLA will rezone the Subject Property to RRC-XXX, which is an appropriate zone for the proposed new tourist establishment and the Proposal is subject to Site Plan Control. A Site Plan Application will be forthcoming should the proposed Zoning By-law Amendment application be approved.

5.6.2 Tourist Establishments

5.6.2.1 Tourist establishments include resorts, motels, hotels, tourist inns with four or more guest rooms, rental cabins or other roofed accommodation, including accessory facilities such as docks, eating establishments, and convenience stores. A residential dwelling may be permitted for use by either the owner or operator of such establishments.

5.6.2.2 An amendment to the implementing zoning by-law shall be required in order to permit any new tourist establishment or the expansion of an existing one beyond its current commercial zoning. The member municipal Council shall review how the proposed tourist establishment is able to satisfy the following development criteria, in addition to the other relevant sections of the Official Plan, prior to adopting the zoning by-law amendment:

a. The minimum lot area should generally be 2 hectares (4 acres);

The Subject Property has a lot area of approximately 5.1 hectares.

b. The preferred density should be one unit per .4 hectare (1 acre), subject to the approval of the sewage disposal systems by the appropriate authority;

Based on the lot area of the Subject Property and the preferred density noted in the policy above, a total of 13 (12.75 units rounded to 13) units are permitted on the Subject Property for the proposed new tourist establishment. The Proposal includes a total of 17 units including the proposed lookout tower/cabin. As such, the Proposal includes only an additional 4 units above the preferred density noted in the policy above and is generally in keeping with the preferred density as set out in the County Official Plan. As per the submitted FSR/SWM Report and HIR, the Proposal can be supported from a functional servicing, preliminary stormwater management, and hydrogeological perspective. As such, the proposed density of

the new tourist establishment is appropriate and conforms with the above-noted preferred density policy.

- c. The site should be readily accessible to tourist traffic by public road without passing through residential areas in order to avoid disruption to the residential area. The standard of road shall be adequate for the proposed use or shall be upgraded at the proponent's expense;

The Subject Property is readily accessible to tourist traffic considering it has direct access to Peterson Road and the Proposal will maintain and improve upon the existing access provided to the Subject Property from Peterson Road.

- d. The site is suitable for tourist commercial use and the natural environment, open space character and scenic qualities of the area are protected. An environmental impact statement may be required depending on the location of the site in relation to sensitive wetlands and/or habitats;

As discussed previously within this Report, the Subject Property is suitable for the proposed new tourist establishment. It is the intent of the Proposal to protect, to the greatest degree possible, the natural environment, open space character and scenic qualities of the Subject Property and area. This is considering the fact that the proposed new tourist establishment is intended to highlight and make use of the natural environment, open space character, and scenic qualities of the Subject Property and area as the proposed new tourist establishment is intended to facilitate camping opportunities and provide opportunities for patrons to experience the natural environment and outdoors. As such, the natural environment, open space character, and scenic qualities of the Subject Property and surrounding area are important aspects that are intended to be preserved in order to facilitate and ensure success of the proposed new tourist establishment. The submitted EIS concludes that the Proposal will appropriately mitigate negative impacts to the

overall form and function of the identified natural heritage on the Subject Property, provided that the recommended mitigation measures as detailed within section 8.2 of the submitted EIS are implemented.

- e. The development shall be subject to site plan control approval and the site design shall be sensitive to existing neighbouring uses, with adequate buffering being provided between the tourist establishment and any adjacent residential uses;

The Proposal is subject to Site Plan Control and a Site Plan Application for this Proposal will be forthcoming should the proposed ZBA application be approved. Through the forthcoming Site Plan Application, site design will be progressed further and consideration will be given for the above-noted policy.

- f. An internal road system shall be provided which will allow ease of access for emergency vehicles and provide for fire route considerations as necessary;

The Proposal includes an internal road system that is mostly 4m in width which is intended to allow ease of access throughout the Subject Property.

- g. No building, structure, septic tank or tile field, except a pump house or marine facility for the launching and/or servicing of boats shall be located closer than 30 metres to the high water mark of any water body.

Confirmation of the location of the high-water mark of nearby water bodies is required through further consultation with County and Municipal Staff however, the front lot line along Peterson Road of the Subject Property is generally more than 30m away from the approximate edge of Cannon Lake, which appears to be the closest water body to the Subject Property (however, there are smaller water bodies on and in proximity to the Subject Property. Confirmation from County

and/or Municipal Staff is required to determine whether those smaller water bodies constitute a water body for the purposes of the Official Plan).

h. All docking and boat launching structures/facilities shall require the approval of the appropriate federal, provincial or public agency; and,

No docking or boat launching structures/facilities are proposed for this development.

i. Required water and sewage works shall receive appropriate approvals.

All required water and sewage works will be undertaken only once all required and appropriate approvals have been obtained.

Summary Opinion:

It is my opinion that the proposed development conforms to the policies of the County of Hastings Official Plan, 2018. The Subject Property is located within the Township of Hastings Highland and the Proposal is supported from a functional

servicing, preliminary stormwater management, hydrogeological, and environmental perspective as per the submitted FSR/SWM Report, HIR, and EIS. Specifically, water, natural heritage, and the “Environmental Protection” designation policies set out within Section 4.2, 4.3 and 4.5 of the County Official Plan are addressed in further detail within the submitted EIS. The Proposal represents an opportunity to provide a new tourist establishment that makes efficient use of the Subject Property and the natural resources of the County and Municipality in a manner that is in keeping with the rural and natural character of the area. It is my opinion that the proposed development is an appropriate form of redevelopment. The Proposal conforms to the applicable County Official Plan policies and particularly, the criteria for new tourist establishments as set out in section 5.6.2. Therefore, the proposed development conforms to the County Official Plan.

3.5 Municipality of Hastings Highlands Zoning By-law 2004-035

As shown in figure “6”, the Subject Property is dually zoned “RR - Rural Residential” and “EP - Environmental Protection”. However, a majority of the Subject Property is zoned as “RR” with only a small portion of the Subject Property at the rear being zoned as “EP”. As is detailed in the section 4 of this Report, the Proposal requires a Zoning By-law Amendment to permit the proposed new tourist establishment.



Figure 6 - County of Hastings Interactive Map - Hastings Highlands Zoning By-law 2004-035

Source: County of Hastings Zoning Interactive Map

4.0 PROPOSED ZONING BY-LAW AMENDMENT

As per Schedule "B" attached to this Report, the Proposal is to rezone the Subject Property to the "RRC-XXX" Special Exception zone, with site-specific exceptions to permit the new tourist establishment. The proposed ZBA includes site-specific exception provisions to permit the number of cabins proposed, to permit washroom and kitchen facilities within the management building, to permit washroom and kitchenette facilities in the proposed cabins, and to permit the proposed height of the lookout tower/cabin. All other provisions of Zoning By-law 2004-035 shall apply to the Subject Property and Proposal. It is the intent of the proposed draft ZBA to permit the Proposal as shown on the plans submitted, prepared by Noar Architects, dated September 19th, 2024. As such, should any revisions to the proposed draft ZBA be required to permit the Proposal in its entirety, it is requested that Municipal Staff advise of any changes required to the proposed draft ZBA in order to permit the Proposal as shown on the submitted plans. As discussed throughout this Report, the proposed draft ZBA is appropriate and conforms to the County Official Plan.

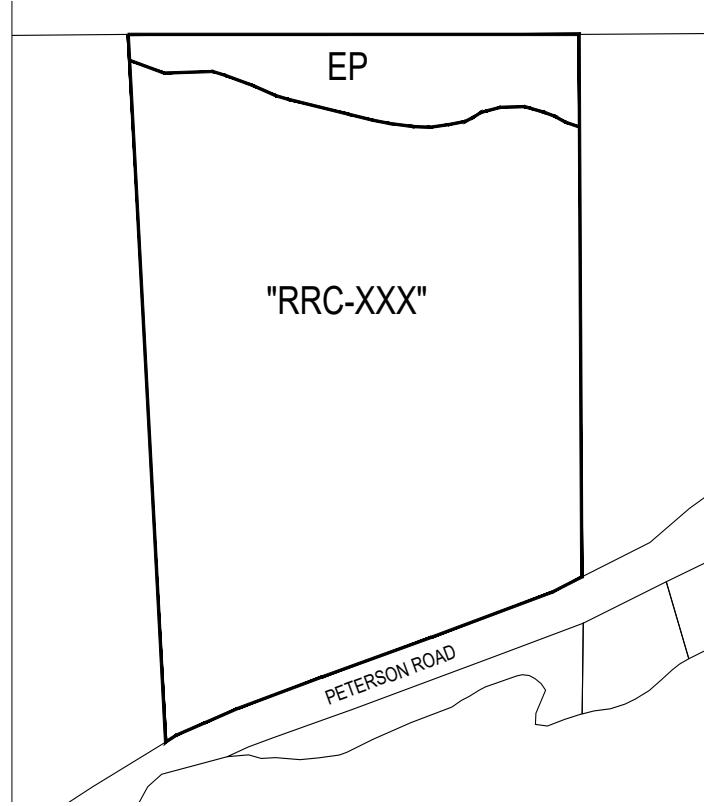


Figure 7 - Proposed Zoning By-law Amendment Schedule

Source: DPS

5.0 CONCLUSION/OPINION

The Proposal is contemplated by the policies of the County Official and represents a logical new tourist establishment that will make efficient use of the Subject Property as well as of the natural resources on and surrounding the Subject Property. The Proposal directly contributes to establishing the County and Municipality as a tourist destination and conforms to the applicable County Official Plan policies. The Proposal will contribute positively to the County and Municipality by implementing a number of County Official Plan policies and goals. Based on all of the information and justification provided within this Report, and after a review of all the supporting documentation, it is my professional opinion that the Proposal should be approved to permit the new tourist establishment as proposed. The Proposal conforms to all and implements a number of applicable Provincial and County policies, and will have little to no impact on the surrounding land uses and area further than what is already contemplated by the County Official Plan. It is my professional opinion that the proposed new tourist establishment represents an appropriate and desirable use of the Subject Property in an area that is appropriate for this type of development.

I hereby certify that this plan/report was prepared by or under the supervision of a Registered Professional Planner, within the meaning of the Ontario Professional Planner Institute Act, 1994.

Date: October 4th, 2024



David Igelman, BURPI., MCIP, RPP

Associate



6.0 SUPPORTING DOCUMENTS REVIEWED

Environmental Impact Study, prepared by Sumach Environmental Consulting, dated September 9th, 2024

The submitted EIS concludes that negative impacts to the overall form and function of the identified natural heritage on the Subject Property will be appropriately mitigated, provided the recommended mitigation measures are implemented. The recommended mitigation measures are outlined in section 8.2 of the submitted EIS.

Functional Servicing and Preliminary Stormwater Management Report, prepared by Crozier, dated August 2024

The submitted FSR/SWM Report notes that the Proposal will be serviced via private on-site sewage systems and that the preliminary sewage system design includes seven (7) on-site sewage systems, which will each service between 1 to 3 cabins and consist of a septic tank, pumping tank, and discharge to a leaching bed constructed as a filter bed. The FSR/SWM Report further notes that domestic water supply for the Proposal will be provided by the existing well and a looped watermain system. In reference to stormwater, the FSR/SWM Report notes that stormwater runoff from the Proposal will be collected and conveyed through a series of swales and culverts and that the runoff from the site will outlet to existing stormwater outlets, mimicking pre-development conditions. The FSR/SWM Report concludes that the Proposal is supportable from a functional servicing and preliminary stormwater management perspective.

Hydrogeological Investigation Report, prepared by Crozier, dated August 2024

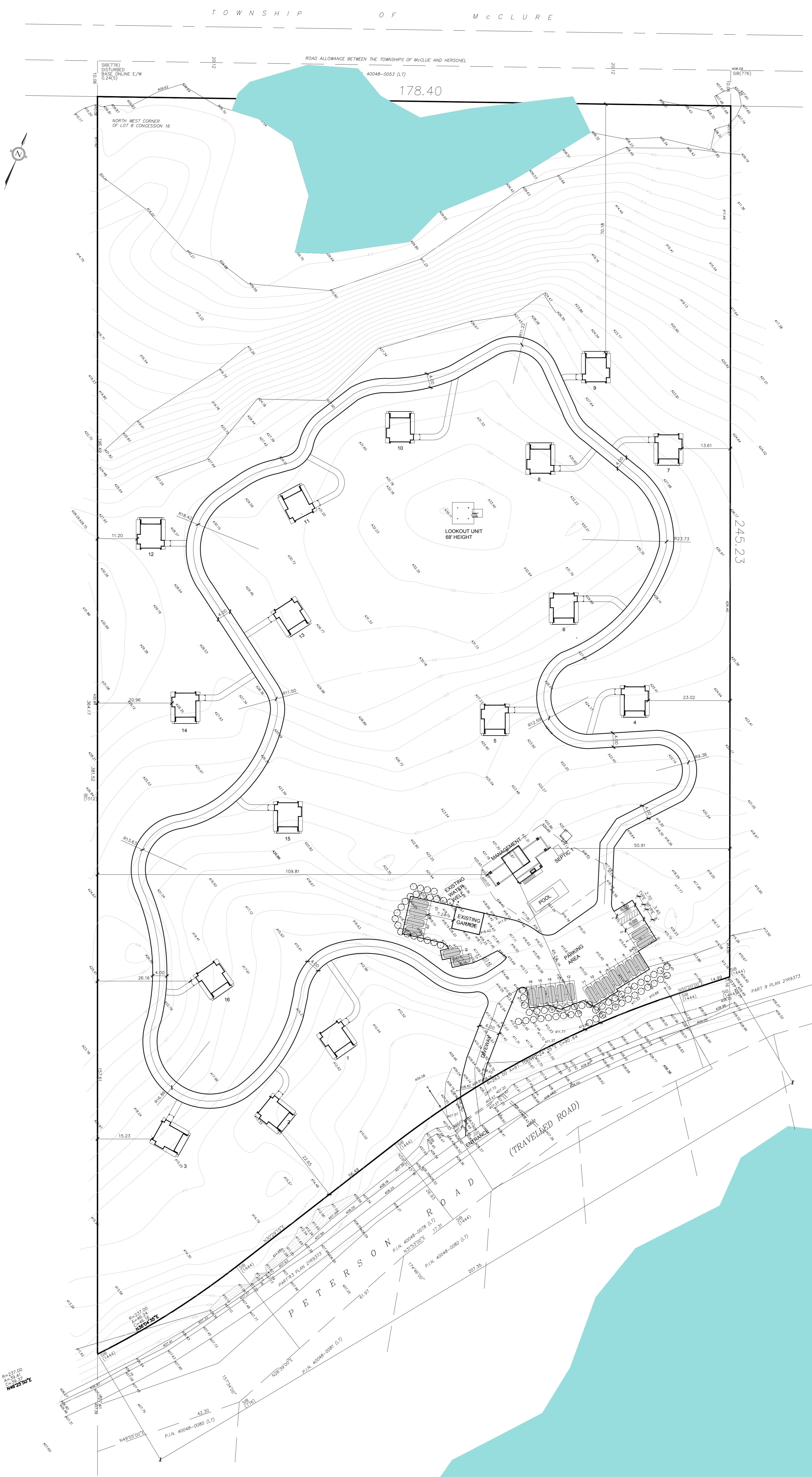
The submitted Hydrogeological Investigation Report concludes that the on-site well can provide water at a rate of 30 L/min on a continuous long-term basis, that the existing well on-site meets the required capacity to provide water supply for the Proposal, that water quality meets all applicable ODWQS standards, and that the well should be utilized to provide water service for the Proposal.

Transportation Impact Brief, prepared by Crozier, dated June 2024

The submitted TIB notes that due to the low volume of trips generated by the Proposal, traffic operations on the study roadway are not expected to be impacted significantly and that it was determined that traffic operations on the study roadway did not need to be analyzed. The TIB further notes that the Proposal provides a surplus of 5 parking spaces and 1 accessible parking space and that the site access review found that the proposed site access exceeds TAC requirements outlined for corner clearance, stopping sight distance, and intersection sight distance.

7.0 SCHEDULES

**SCHEDULE A - ARCHITECTURAL PLANS,
PREPARED BY NOAR ARCHITECTS, DATED
SEPTEMBER 19TH 2024**



NOTE: THESE DRAWINGS ARE COPYRIGHTED AND THEY REMAIN THE PROPERTY OF THE CONSULTANT. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS NOTED IN THE REVISION FIELD AND SEALED AND SIGNED BY THE DESIGNER. REPRODUCTION OF THESE DRAWINGS WITHOUT THE CONSENT OF THE DESIGNER IS NOT ALLOWED. ALL DIMENSIONS TO BE CHECKED & VERIFIED ON SITE AND DISCRENCES ARE TO BE REPORTED TO THE ARCHITECT. LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. DO NOT SCALE THE DRAWING.

647.887.5000
SHAHRAM@NOAR.CA

PROJECT: 752 PETERSON ROAD
Maynooth, ON

ISSUED FOR ZBA APPLICATION

2024-09-19

LIST OF DRAWINGS:

A0.1 COVER
A0.2 ARCHITECTURAL NOTES
A0.2A STRUCTURAL NOTES
A0.3 SITE PLAN
A0.3A SITE PLAN (ENLARGED)
A1.1 1ST FLOOR
A1.2 2ND FLOOR
A1.3 ROOF 1
A1.4 ROOF 2
A2.1 EAST ELEVATION
A2.2 NORTH ELEVATION
A2.3 WEST ELEVATION
A2.4 SOUTH ELEVATION
A4.1 LONGITUDE SECTION
A4.2 CROSS SECTION
A5.1 DETAILS
A5.2 DETAILS
A5.5 WALL TYPES
S1.1 FOUNDATION PLAN
S1.2 1ST FLOOR FRAMING
S1.3 2ND FLOOR FRAMING
S1.4 ROOF FRAMING

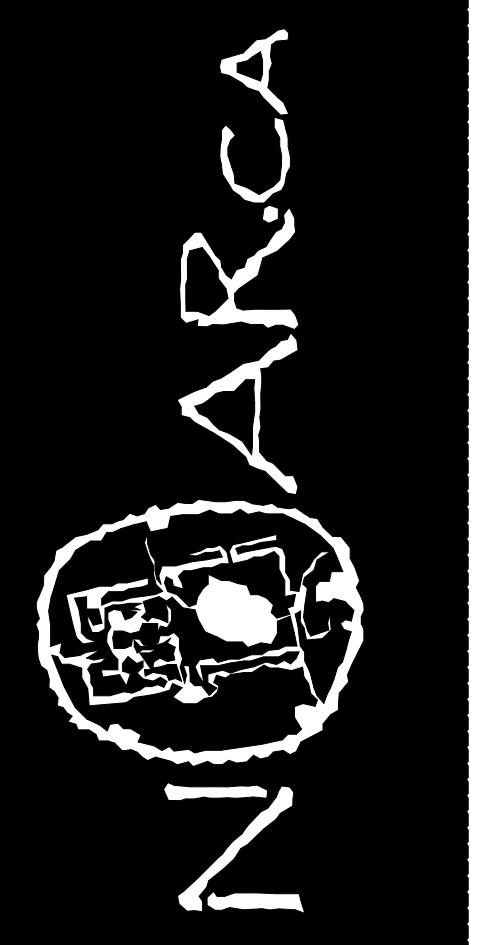


SHAHRAM RASHVAND
SHAHRAM@NOAR.CA
647.887.5000

WOOD FRAMING MEMBERS IN CONTACT WITH MASONRY OR CONCRETE SHALL BE TREATED TO PREVENT DECAY OBC 2012, 9.23.2.2 OR SEPARATED FROM THE CONCRETE BY MIN. 0.05MM POLYETHYLENE FILM OR TYPE S ROLL ROOFING. OBC 2012, 9.23.2.3
STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE-TREATED FOR TERMITE AND DECAY PROTECTION WHERE THE VERTICAL CLEARANCE BETWEEN THE WOOD ELEMENTS AND THE FINISHED GROUND LEVEL IS LESS THAN 150MM OBC 2012, 9.3.2.9

GASPROOFING NOTES
ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING
1. PROVIDE 12.7MM DRYWALL W/MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING
2. CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT
3. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ FLEXIBLE CAULKING
4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHER STRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR SLEEPING
5. GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS
6. WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE CARRY DRYWALL UP TO ROOF SHEATHING & CAULK W/ FLEXIBLE CAULKING
7. UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING & ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE

SUMP PUMP & PIT (TYP.)
• FULLY SUBMERSIBLE SUMP PUMP C/W PLASTIC BASIN (OR POURED ON SITE CONCRETE PIT 24"X24"X42" DEEP OR AS REQUIRED) AND SEALED LID FLUSH WITH SURROUNDING FINISHED FLOOR
• SUMP PUMP TO HAVE HIGH WATER ALARM, CONNECT TO POWER SOURCE EJECT SUMP TO GRADE, ENSURE POSITIVE SLOPE AWAY FROM FOUNDATION WALL
• ALL BASEMENT FLOOR DRAINS, WINDOW WELL AREA DRAINS, ETC. TO BE CONNECTED TO THIS SUMP PIT



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THEY ARE NOT TO BE COPIED OR USED FOR
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. THE CONSULTANT'S
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. ANY CHANGES TO THE DRAWINGS TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD
Maynooth, ON

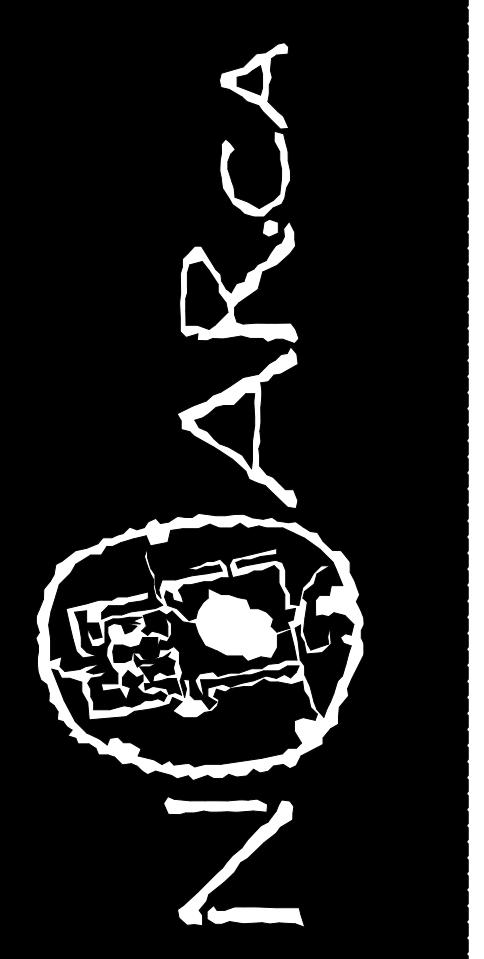
START DATE
2022-07-11

No.	Description	Date
1	BUILDING PERMIT	2022-09-08
2	PERMIT-R1	2022-10-19
3	COA	2022-11-15
4	ZBA APPLICATION	2024-09-19

SCALE
1/4" = 1'-0"

TITLE

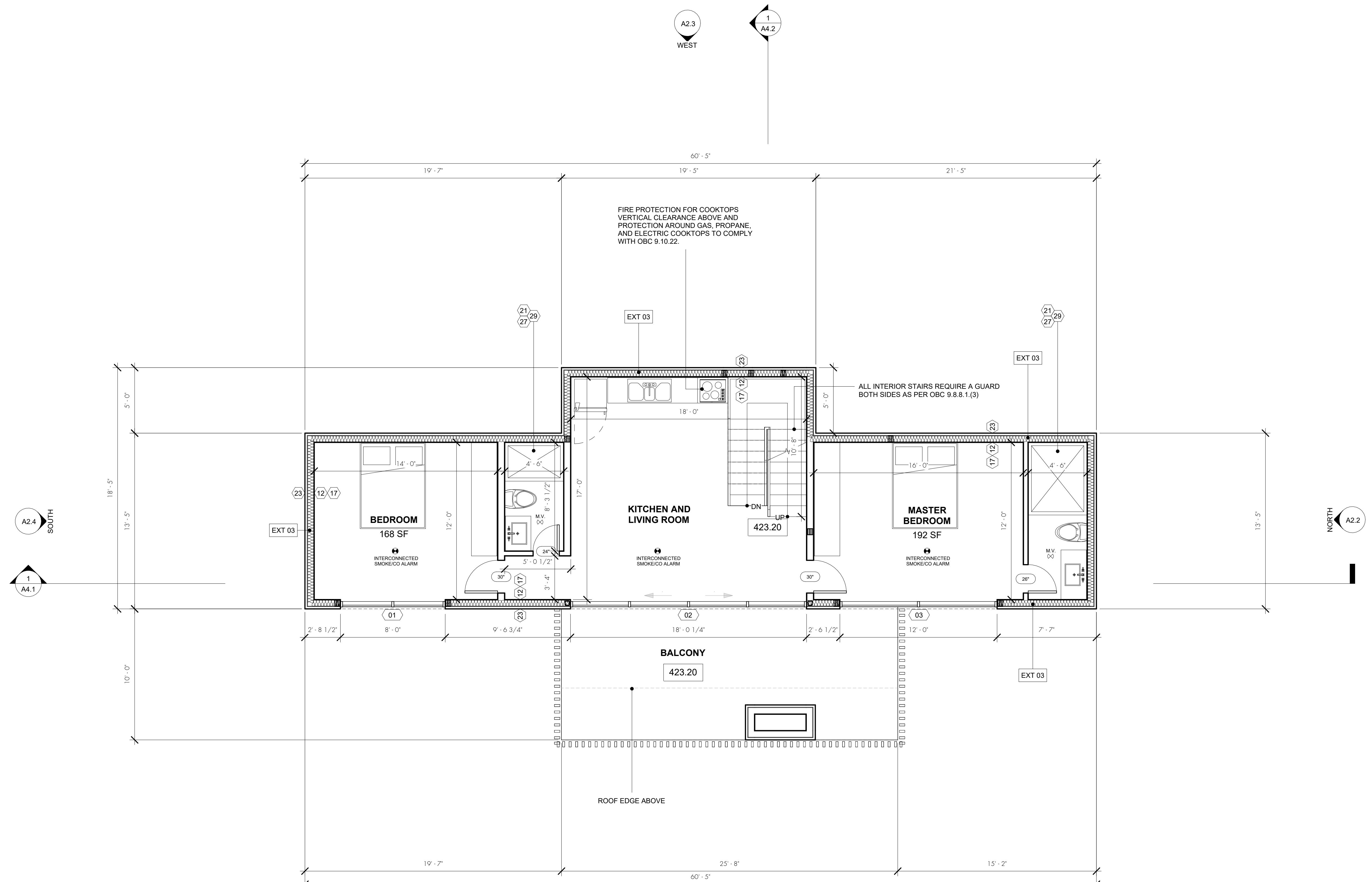
1ST FLOOR
A1.1
PLOT DATE 2024-09-20 10:04:50 AM



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. THE CONTRACTOR'S
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION. ALL DIMENSIONS TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

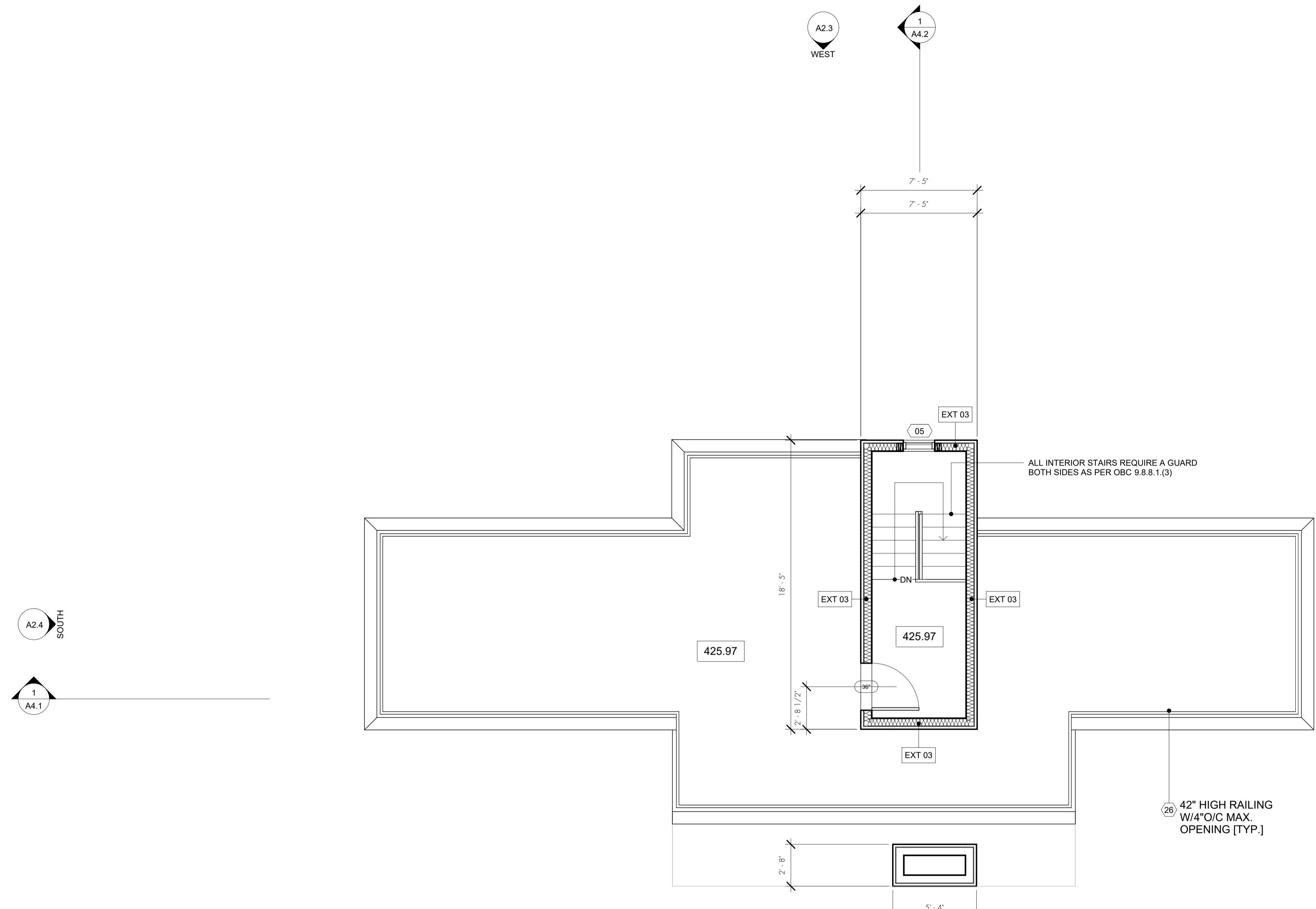




NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. ANY OTHER USE OR
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. ANY CHANGES MUST BE MADE TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.



NORTH

A2.2

PROJECT
752 PETERSON
ROAD

Maynooth, ON

START DATE 2022-07-11



No.	Description	Date
1	BUILDING PERMIT	2022-09-08
2	PERMIT-R1	2022-10-19
3	COA	2022-11-15
4	ZBA APPLICATION	2024-09-19

SCALE 1/4" = 1'-0"

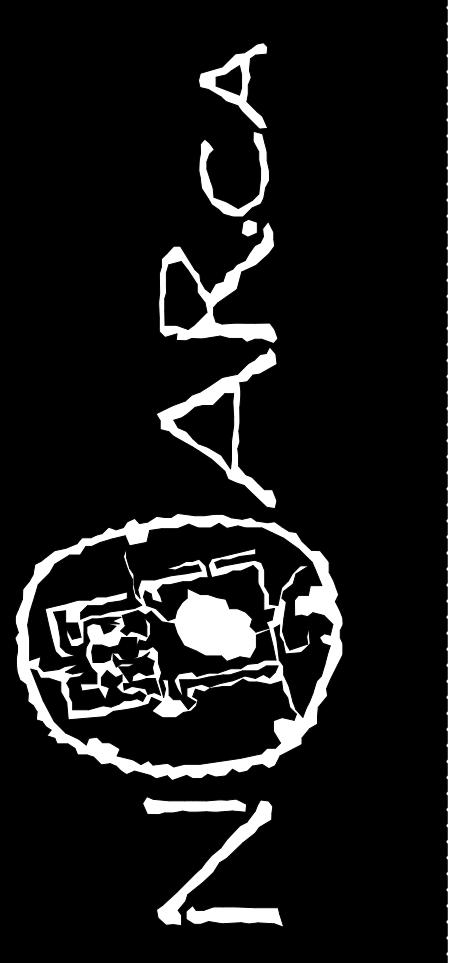
TITLE

ROOF 1

SHEET NO.

A1.3

PLOT DATE 2024-09-20 10:04:51 AM



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THE DRAWINGS MAY NOT BE USED FOR
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE DESIGNER.
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE AND DISCREPANCIES ARE TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

JECT
752 PETERSON
ROAD

Maynooth, ON

REPORT DATE 2022-07-11

This architectural floor plan illustrates a building section with various rooms, dimensions, and orientation markers. The plan includes the following key features and dimensions:

- Rooms and Areas:** The plan shows multiple rooms including a central area labeled "2ND FLOOR BALCONY" with dimensions 14'-0 1/2", 5'-4", and 6'-3 1/2".
- Dimensions:** Horizontal dimensions include 19'-7", 19'-5", 12'-0", 7'-5", 21'-5", 19'-7", 13'-5", 6'-0", 13'-5", 6'-0", 15'-2", and 6'-0". Vertical dimensions include 24'-5", 13'-5", 5'-0", 18'-5", 13'-5", 6'-0", and 5'-0".
- Labels:** Labels include "WEST" at the top center, "SOUTH" on the left, "NORTH" on the right, and "A2.1", "A2.2", "A2.3", "A2.4", "1 A4.1", "1 A4.2", and "R.D." (Return Duct) throughout the plan.
- Annotations:** Arrows indicate "SLOPE <2%" for various sections of the floor plan.

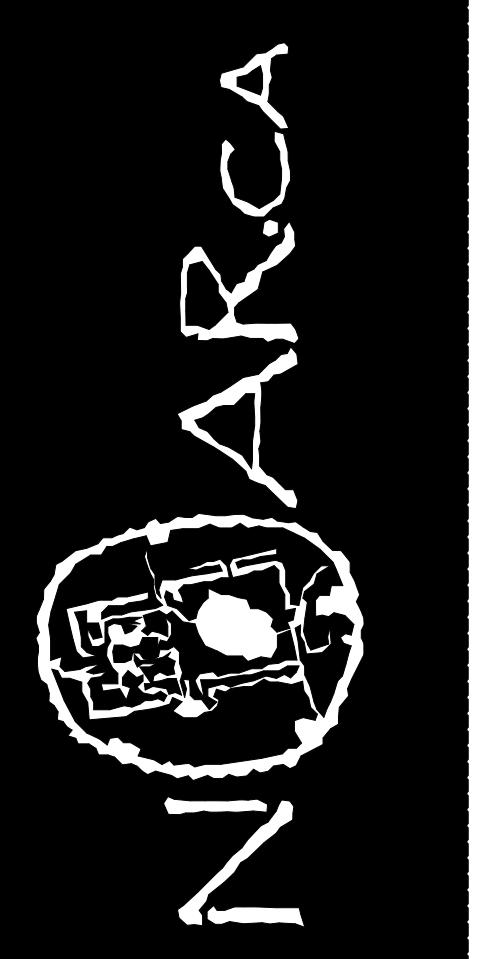
Description	Date
BUILDING PERMIT	2022-09-08
PERMIT-R1	2022-10-19
A	2022-11-15
A APPLICATION	2024-09-19

1/4" = 1'-0"

Page 8

A1.4

2024-09-20 10:04:51 AM



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. ANY OTHER USE OR
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION DRAWINGS TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

Maynooth, ON

START DATE 2022-07-11

No.	Description	Date
1	BUILDING PERMIT	2022-09-08
2	PERMIT-R1	2022-10-19
3	COA	2022-11-15
4	ZBA APPLICATION	2024-09-19

SCALE 1/4" = 1'-0"

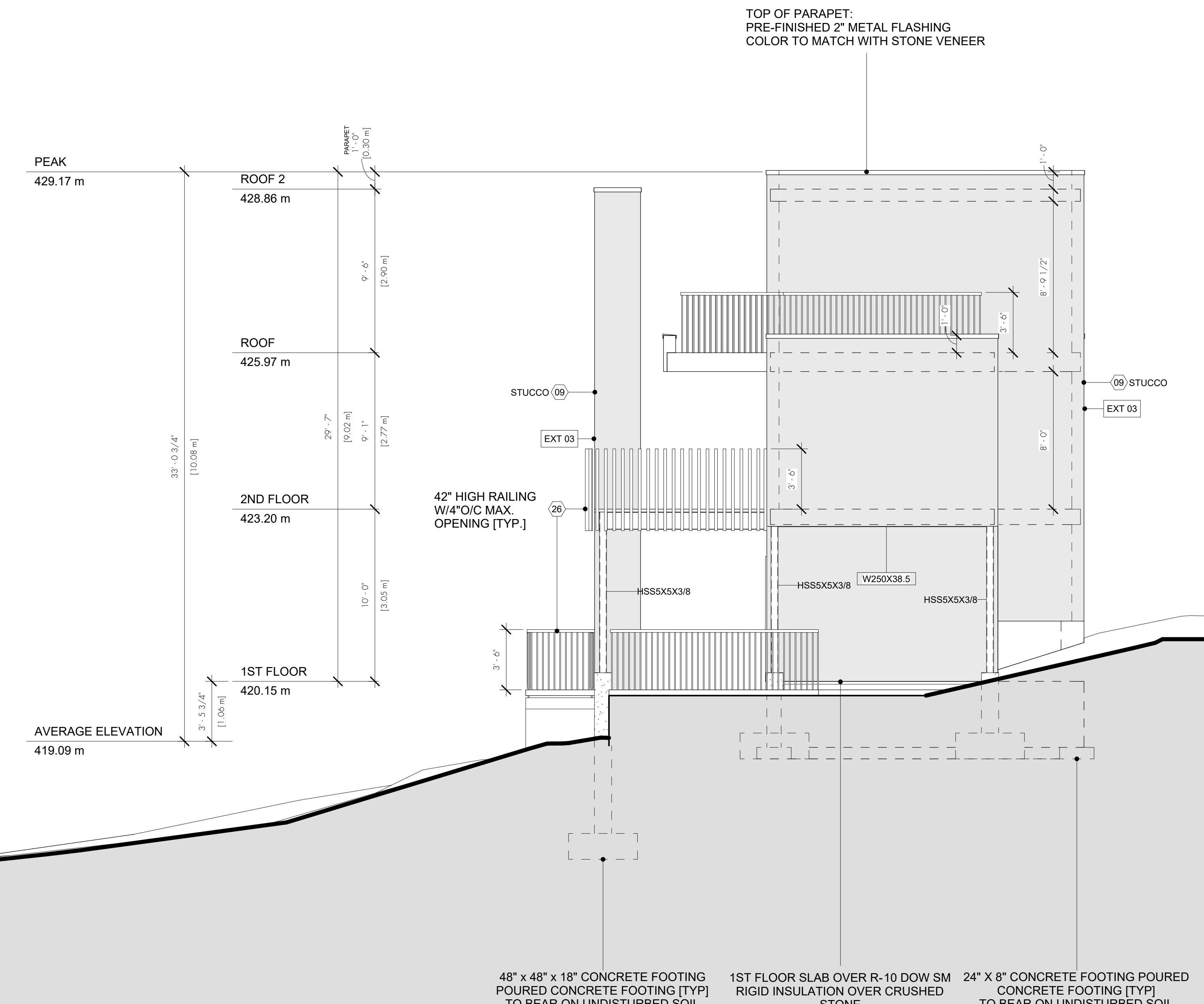
TITLE

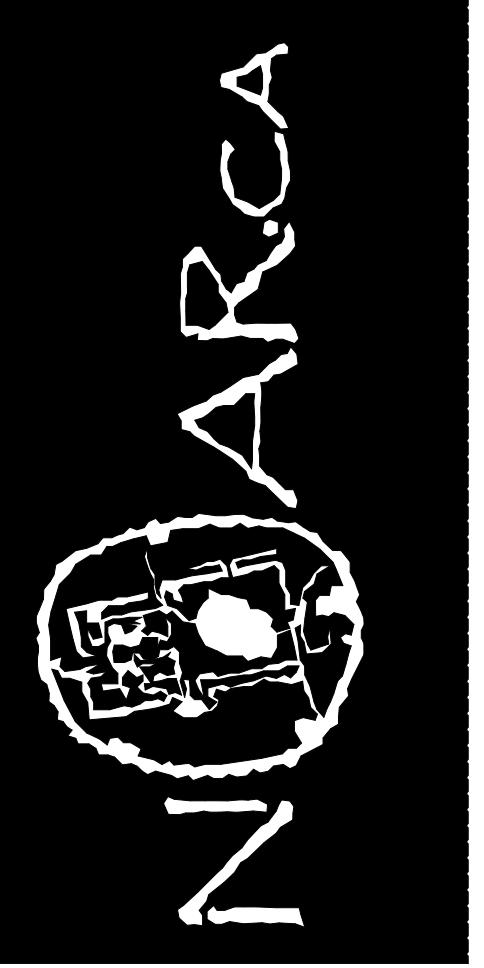
NORTH
ELEVATION

SHEET NO.

A2.2

PLOT DATE 2024-09-20 10:04:53 AM





NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. ANY OTHER USE OR
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION FIELD AND TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

Maynooth, ON

START DATE 2022-07-11

No.	Description	Date
1	BUILDING PERMIT	2022-09-08
2	PERMIT-R1	2022-10-19
3	COA	2022-11-15
4	ZBA APPLICATION	2024-09-19

SCALE 1/4" = 1'-0"

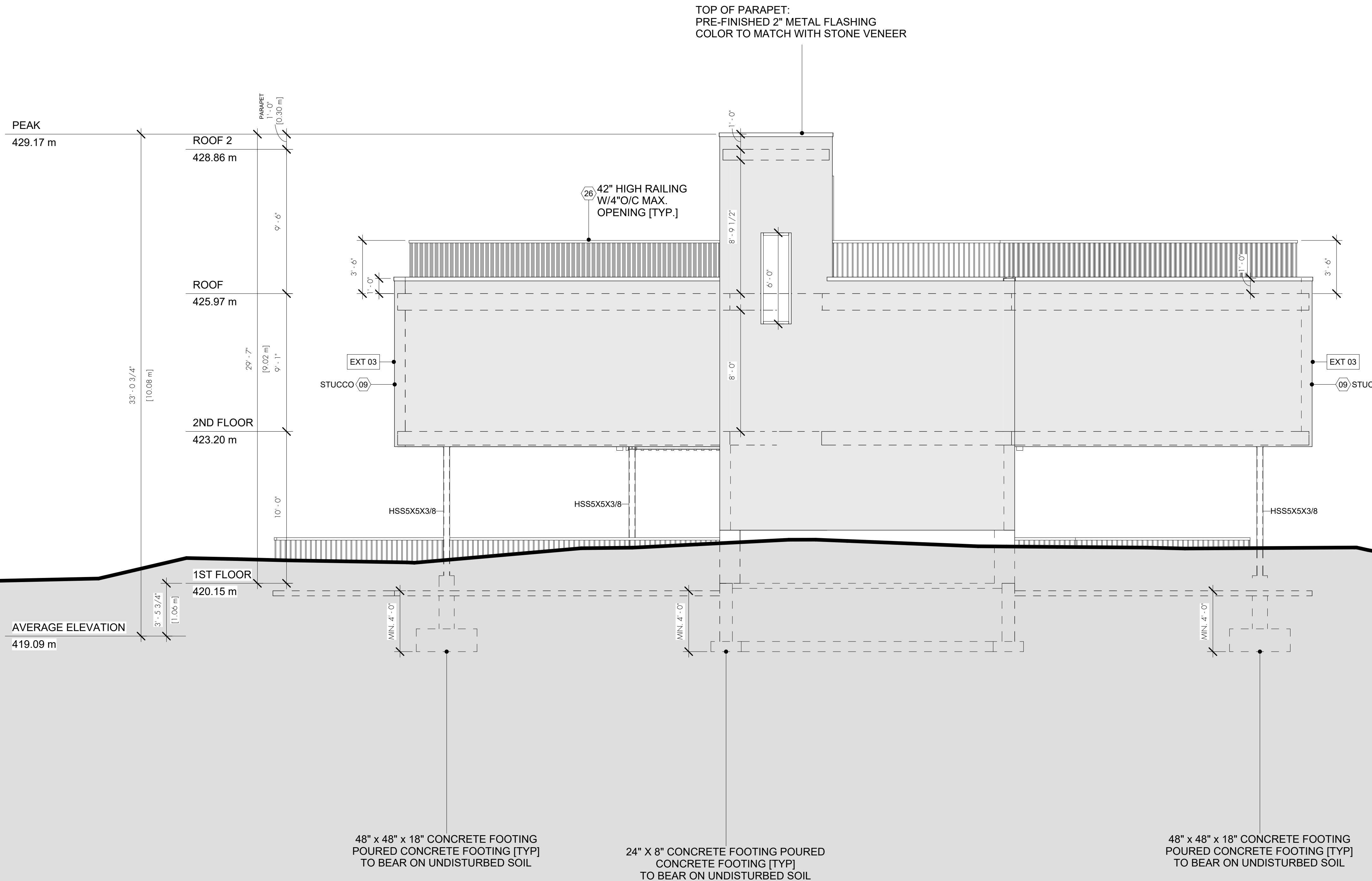
TITLE

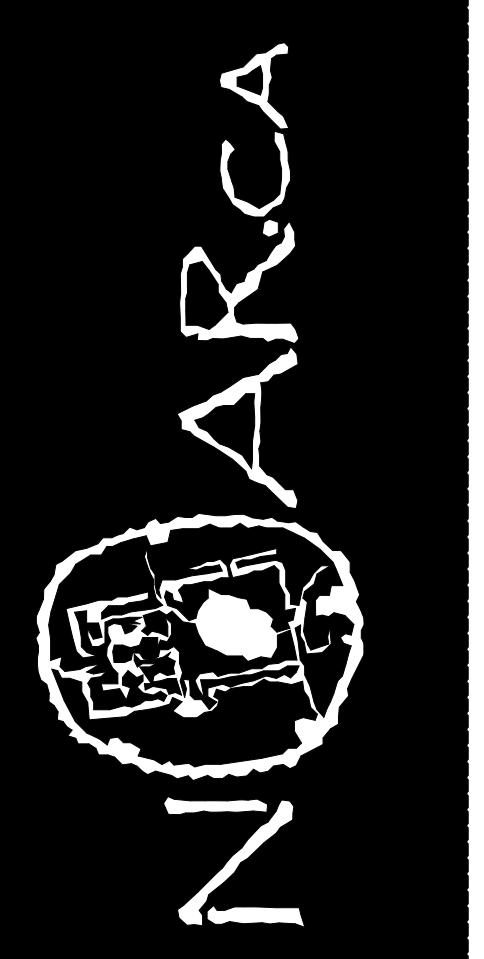
WEST
ELEVATION

SHEET NO.

A2.3

PLOT DATE 2024-09-20 10:04:54 AM



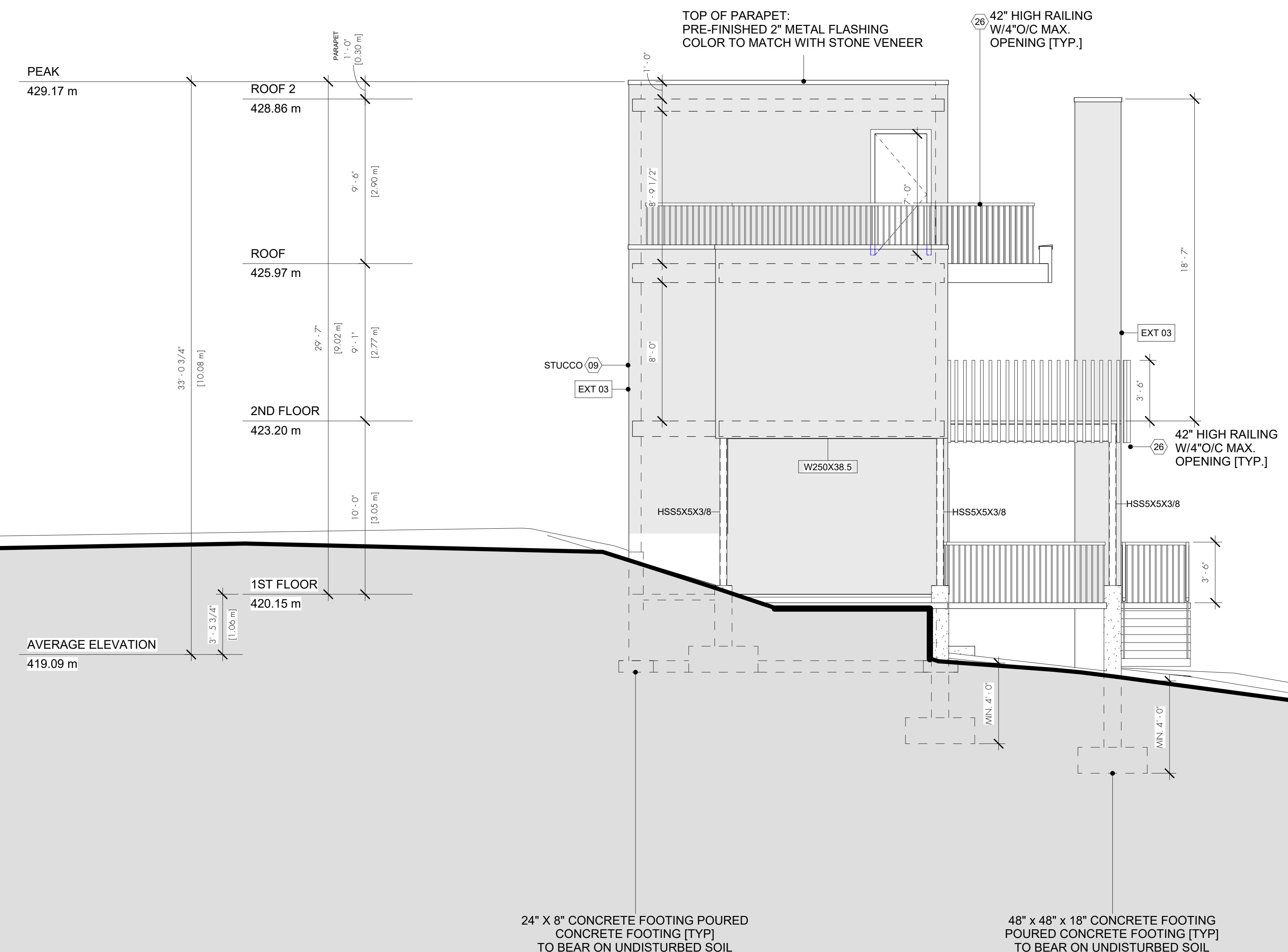


NOAR.CA

647.887.5000

SHAHRAM@NOAR.CA

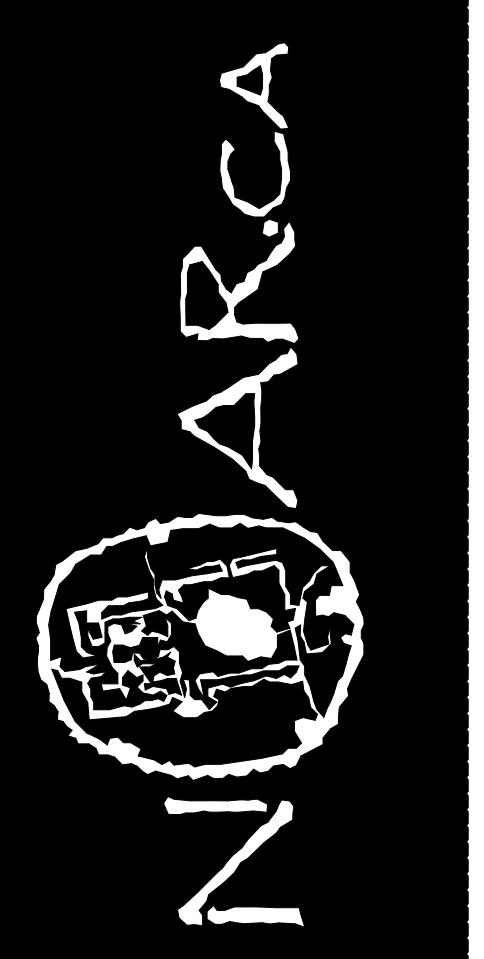
NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. ANY OTHER USE OR
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION DRAWINGS AND TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.



No.	Description	Date
1	BUILDING PERMIT	2022-09-08
2	PERMIT-R1	2022-10-19
3	COA	2022-11-15
4	ZBA APPLICATION	2024-09-19

A2.4

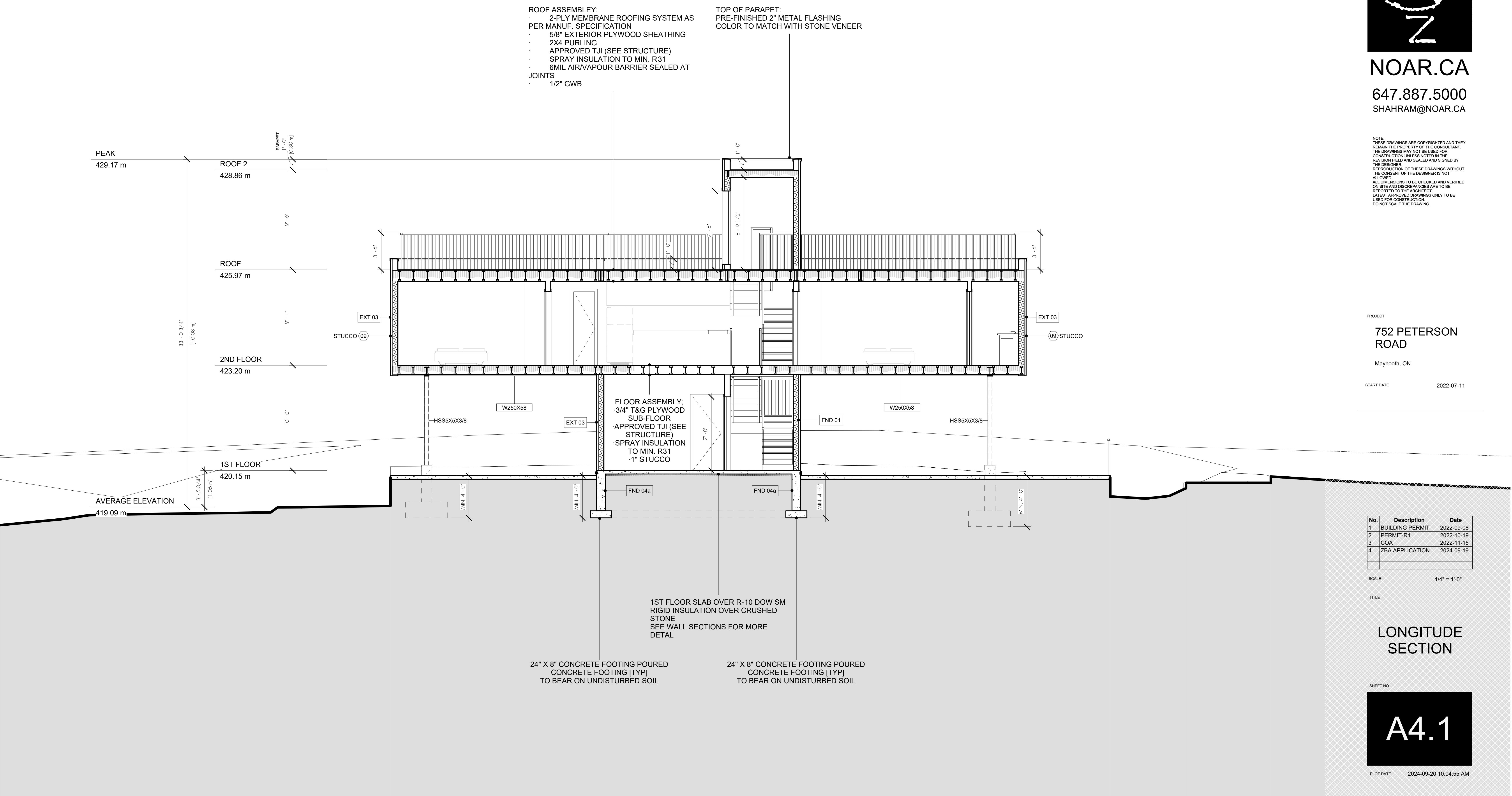
PLOT DATE 2024-09-20 10:04:55 AM

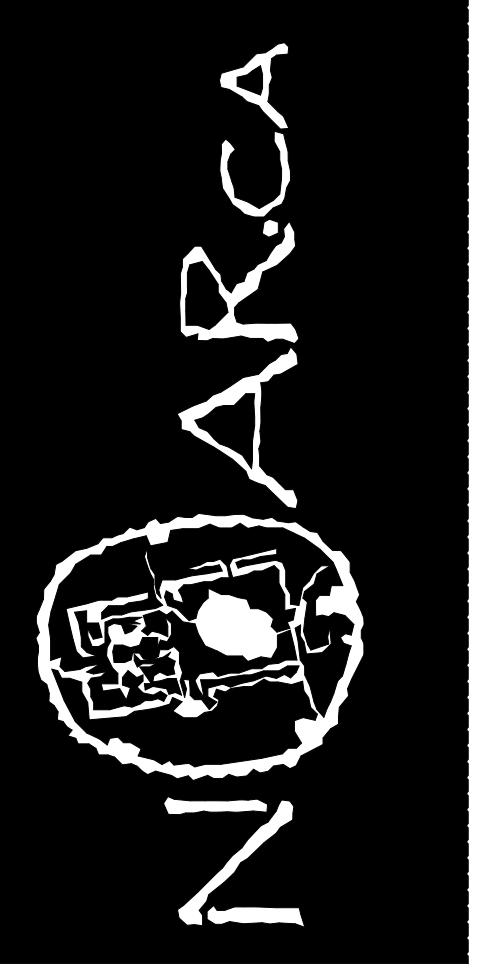


NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. IT IS AN INFRINGEMENT
TO REPRODUCE OR DISTRIBUTE THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION DRAWINGS AND TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.





NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. IT IS AN OFFENSE TO
REPRODUCE OR COPIES OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. ANY CHANGES IN DIMENSIONS TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

Maynooth, ON

START DATE 2022-07-11

No.	Description	Date
1	BUILDING PERMIT	2022-09-08
2	PERMIT-R1	2022-10-19
3	COA	2022-11-15
4	ZBA APPLICATION	2024-09-19

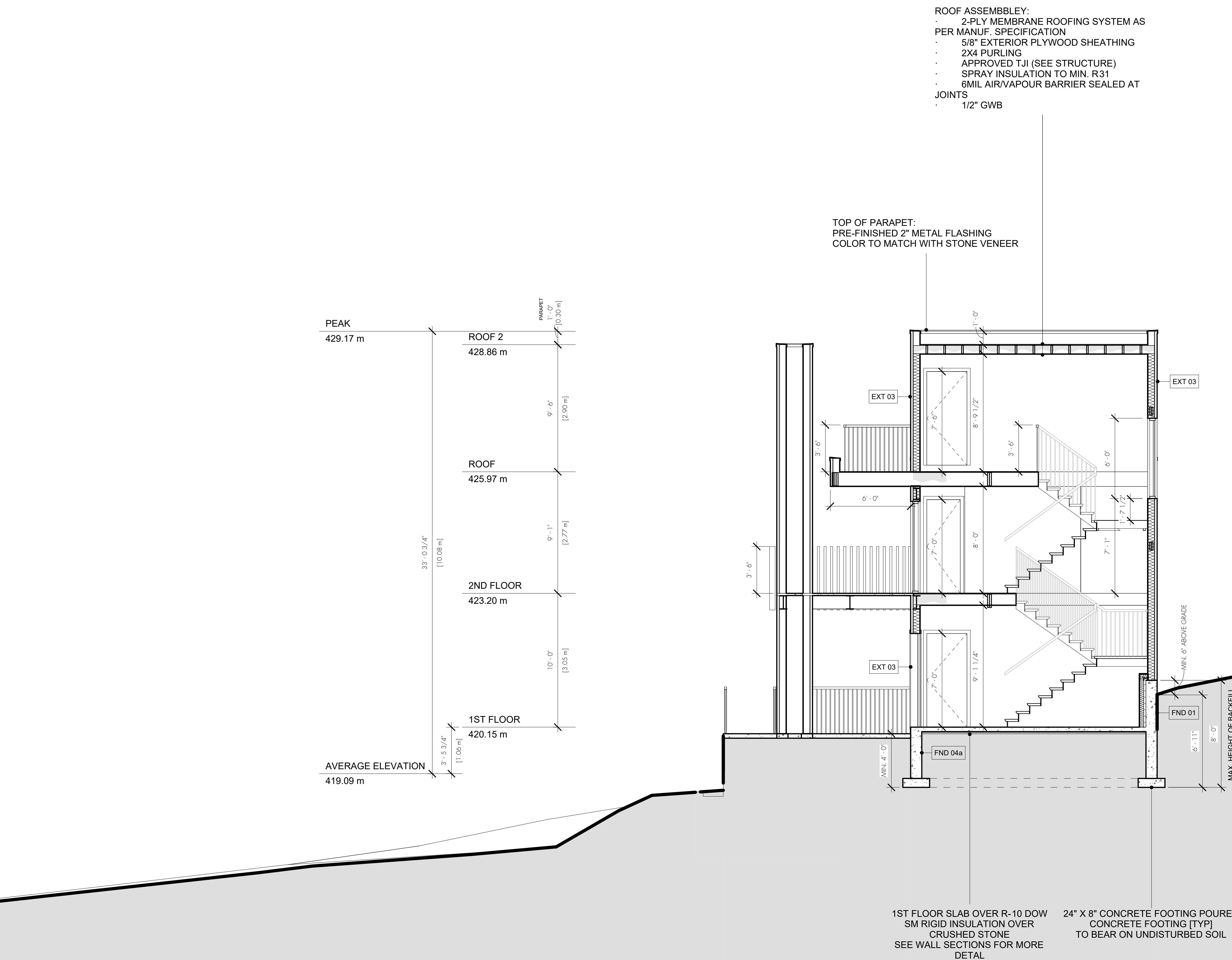
SCALE 1/4" = 1'-0"

TITLE

CROSS
SECTION

SHEET NO.

A4.2



PROJECT: 752 PETERSON ROAD
MAYNOOTH, ON

ISSUED FOR ZBA APPLICATION

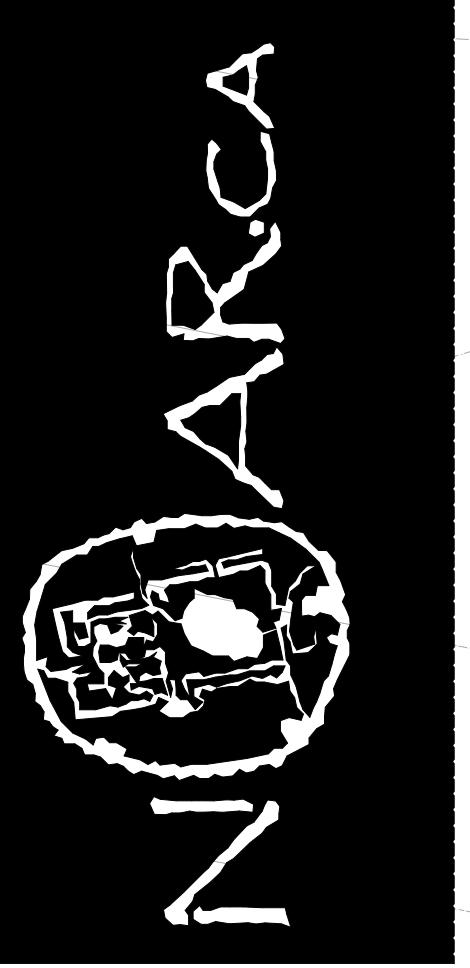
2024-09-19

LIST OF DRAWINGS:

A0.1 COVER
A0.2 ARCHITECTURAL NOTES
A0.2A STRUCTURAL NOTES
A0.3 SITE PLAN
A1.2 1ST FLOOR
A1.3 2ND FLOOR
A1.4 ROOF
A2.1 SOUTH ELEVATION
A2.2 EAST ELEVATION
A2.3 NORTH ELEVATION
A2.4 WEST ELEVATION
A4.1 CROSS SECTION
A5.1 DETAILS
A5.2 DETAILS
A5.3 DETAILS
A5.4 DETAILS
A5.5 WALL TYPES



SHAHRAM RASHVAND
SHAHRAM@NOAR.CA
647.887.5000



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR ONLY AND ARE NOT FOR
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONTRACTOR. ANYONE WHO COPIES OR
REPRODUCES THESE DRAWINGS WITHOUT THE
CONSENT OF THE DESIGNER IS NOT
ALLOWED TO DO SO.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. THE CONTRACTOR IS RESPONSIBLE TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD
MAYNOOTH, ON

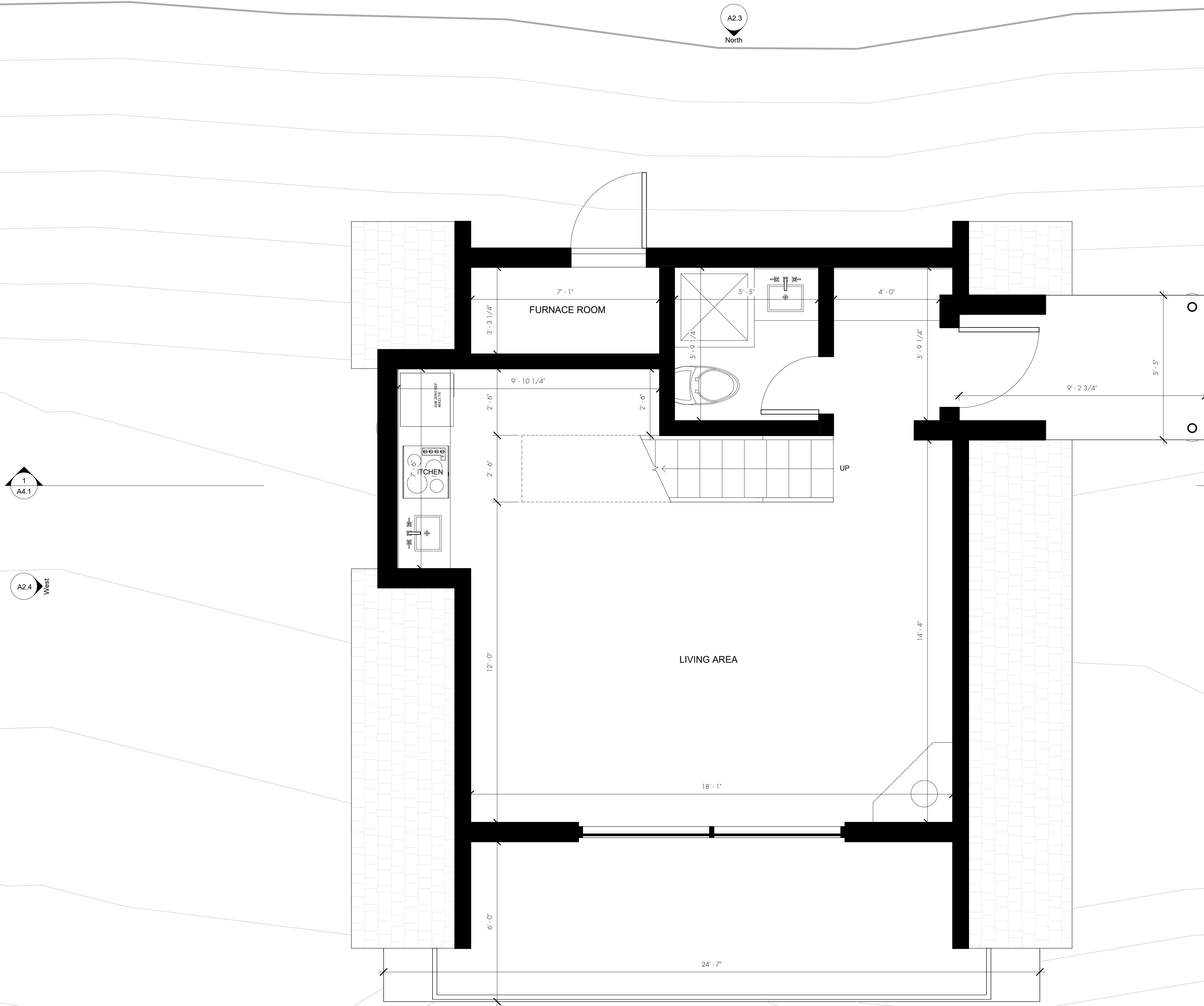
START DATE 2022-09-22

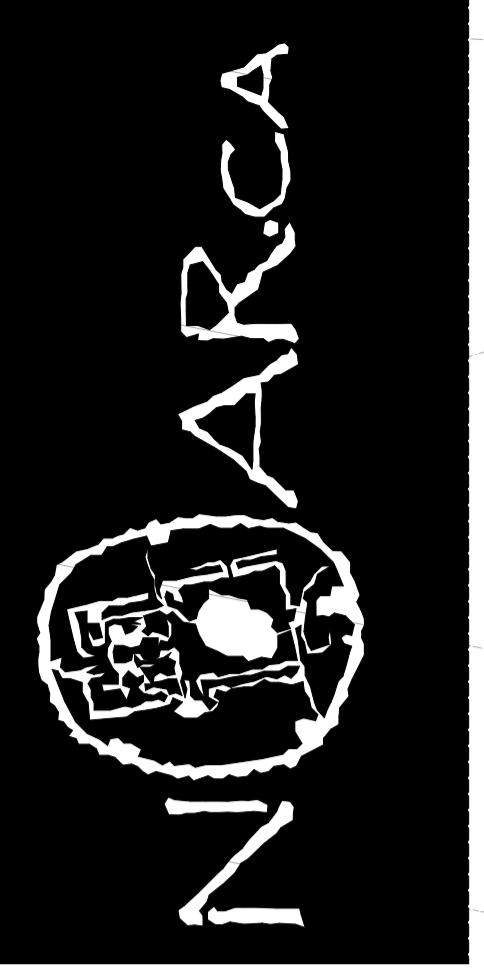
No.	Description	Date
2	ZBA APPLICATION	2024-09-19

SCALE 1/2" = 1'-0"

TITLE

1ST FLOOR
A1.2
PLOT DATE 2024-09-20 10:02:30 AM





NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR AND NOT FOR GENERAL
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONTRACTOR. THE CONTRACTOR'S
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. LATEST APPROVED DRAWINGS TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

1 A4.1

A2.4 West

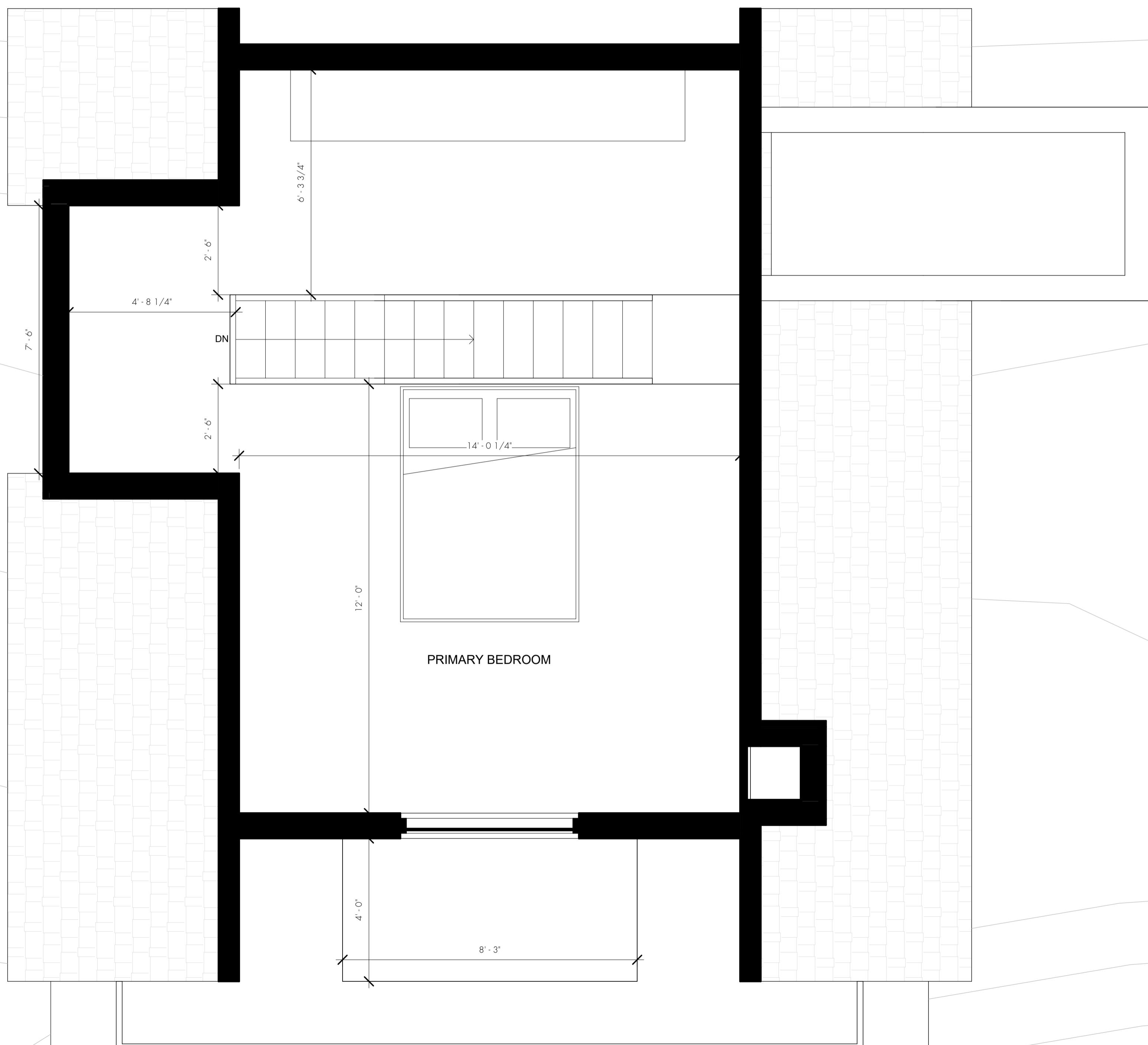
A2.3

North

East A2.2

South

A2.1



PRIMARY BEDROOM

PROJECT
752 PETERSON
ROAD

MAYNOOTH, ON

START DATE 2022-09-22

No.	Description	Date
2	ZBA APPLICATION	2024-09-19

SCALE 1/2" = 1'-0"

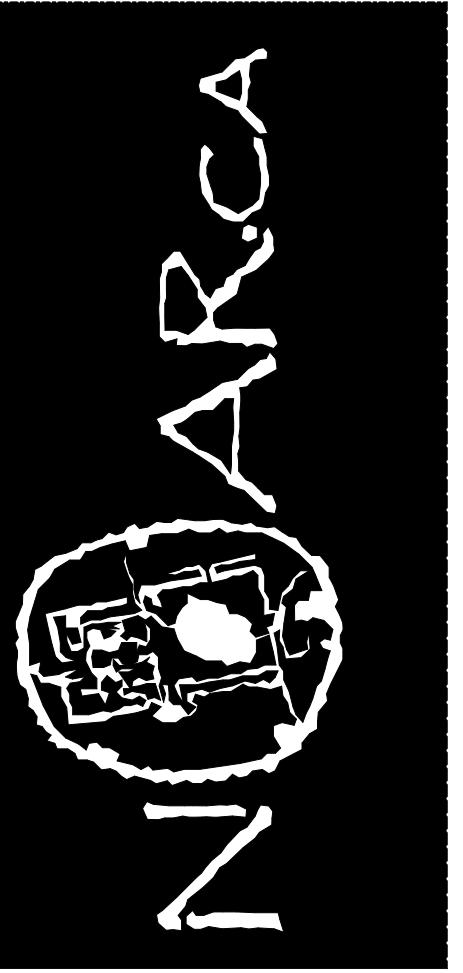
TITLE

SHEET NO.

A1.3

PLOT DATE 2024-09-20 10:02:30 AM

2ND FLOOR



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONSULTANT AND THE CONTRACTOR
FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONTRACTOR. ANY OTHER USE
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. ANY CHANGES MUST BE MADE TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.



No.	Description	Date
2	ZBA APPLICATION	2024-09-19

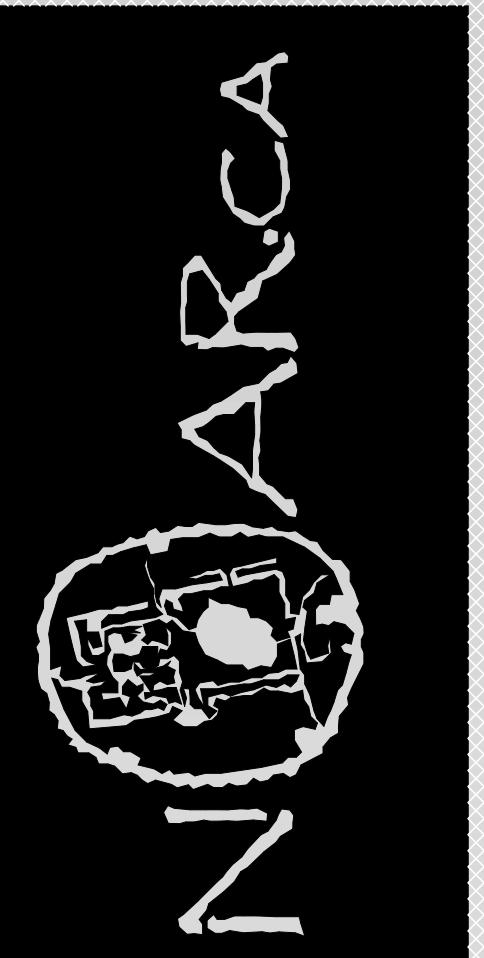
SCALE 1/2" = 1'-0"

TITLE

A1.4



PLOT DATE 2024-09-20 10:02:30 AM



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONSULTANT AND THE OWNER ONLY.
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT AND THE OWNER.
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION DRAWINGS AND TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

MAYNOOTH, ON

START DATE 2022-09-22

No.	Description	Date
2	ZBA APPLICATION	2024-09-19

SCALE 1/2" = 1'-0"

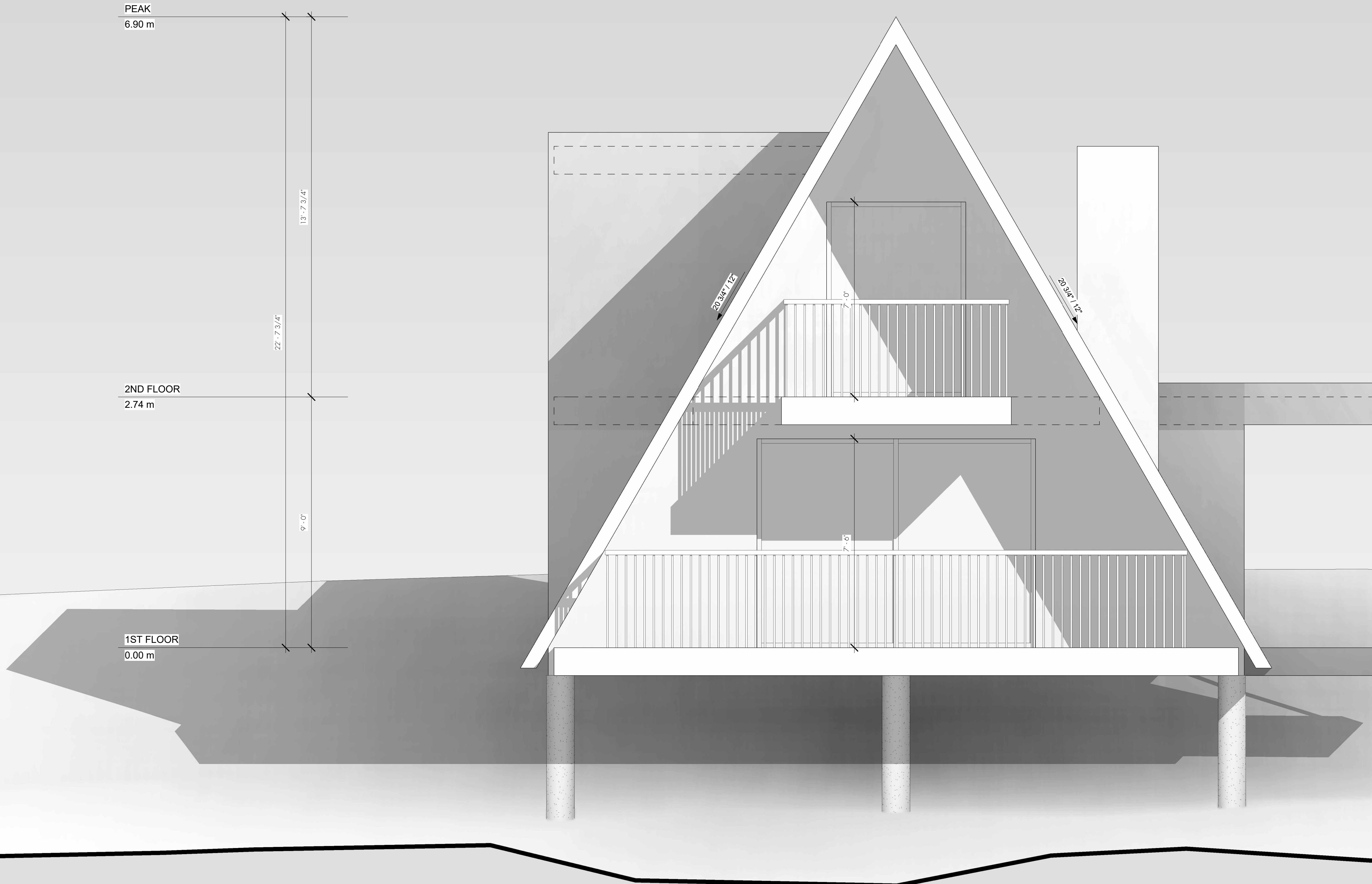
TITLE

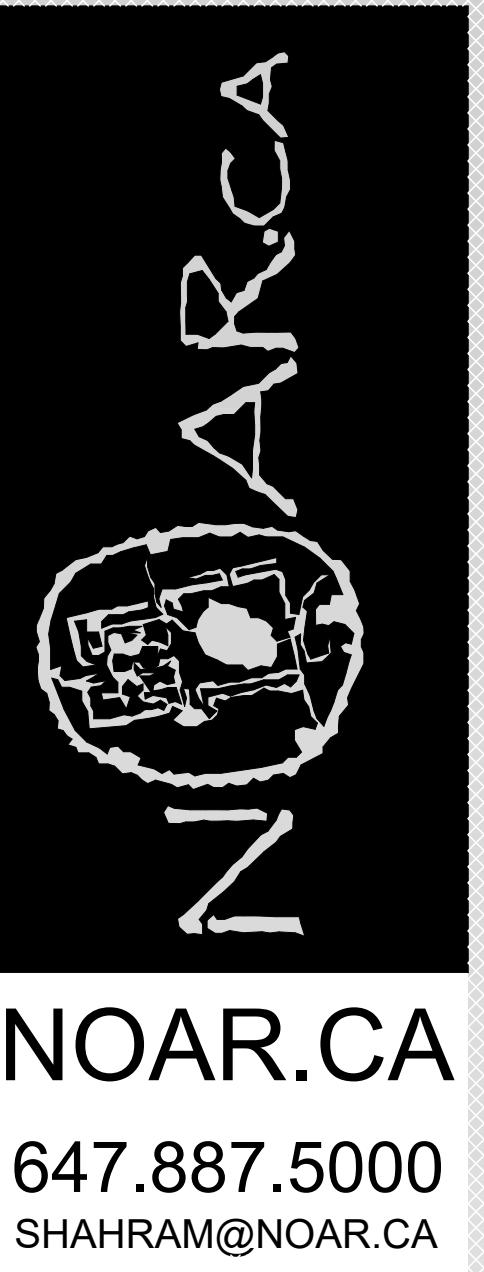
SOUTH
ELEVATION

SHEET NO.

A2.1

PLOT DATE 2024-09-20 10:02:36 AM





NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR AND NOT FOR GENERAL
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. ANY OTHER USE
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION AND REPORTED TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

MAYNOOTH, ON

START DATE 2022-09-22

No.	Description	Date
2	ZBA APPLICATION	2024-09-19

SCALE 1/2" = 1'-0"

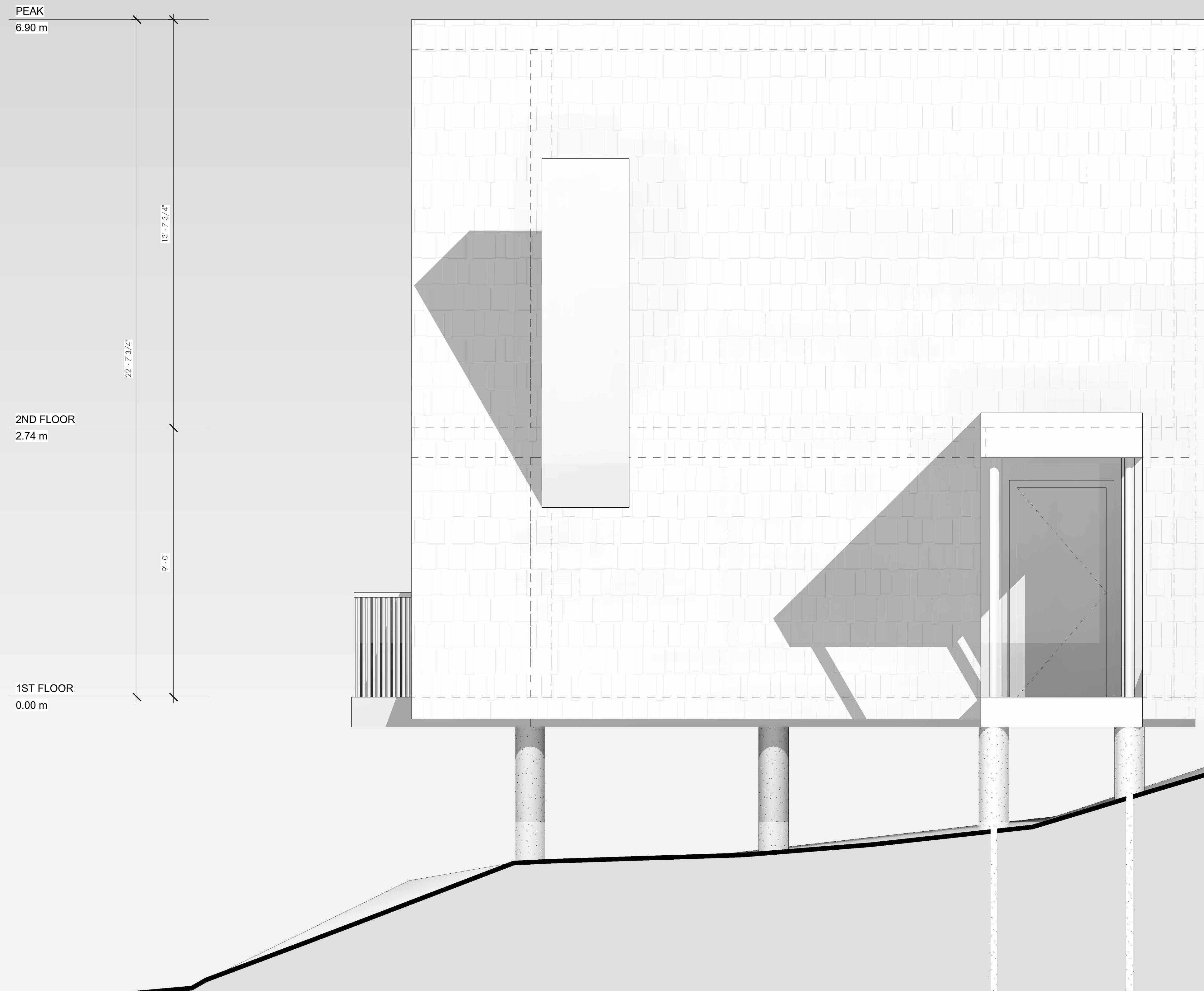
TITLE

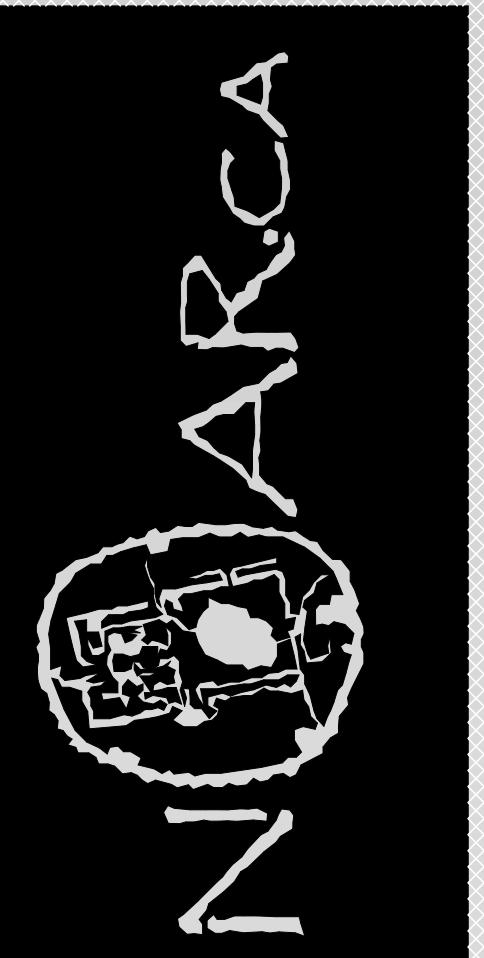
EAST
ELEVATION

SHEET NO.

A2.2

PLOT DATE 2024-09-20 10:02:43 AM





NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONSULTANT AND THE OWNER FOR
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT AND APPROVED BY THE
MUNICIPALITY. ANY OTHER USE,
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION. ANY CHANGES TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

MAYNOOTH, ON

START DATE 2022-09-22

2	ZBA APPLICATION	2024-09-19

SCALE 1/2" = 1'-0"

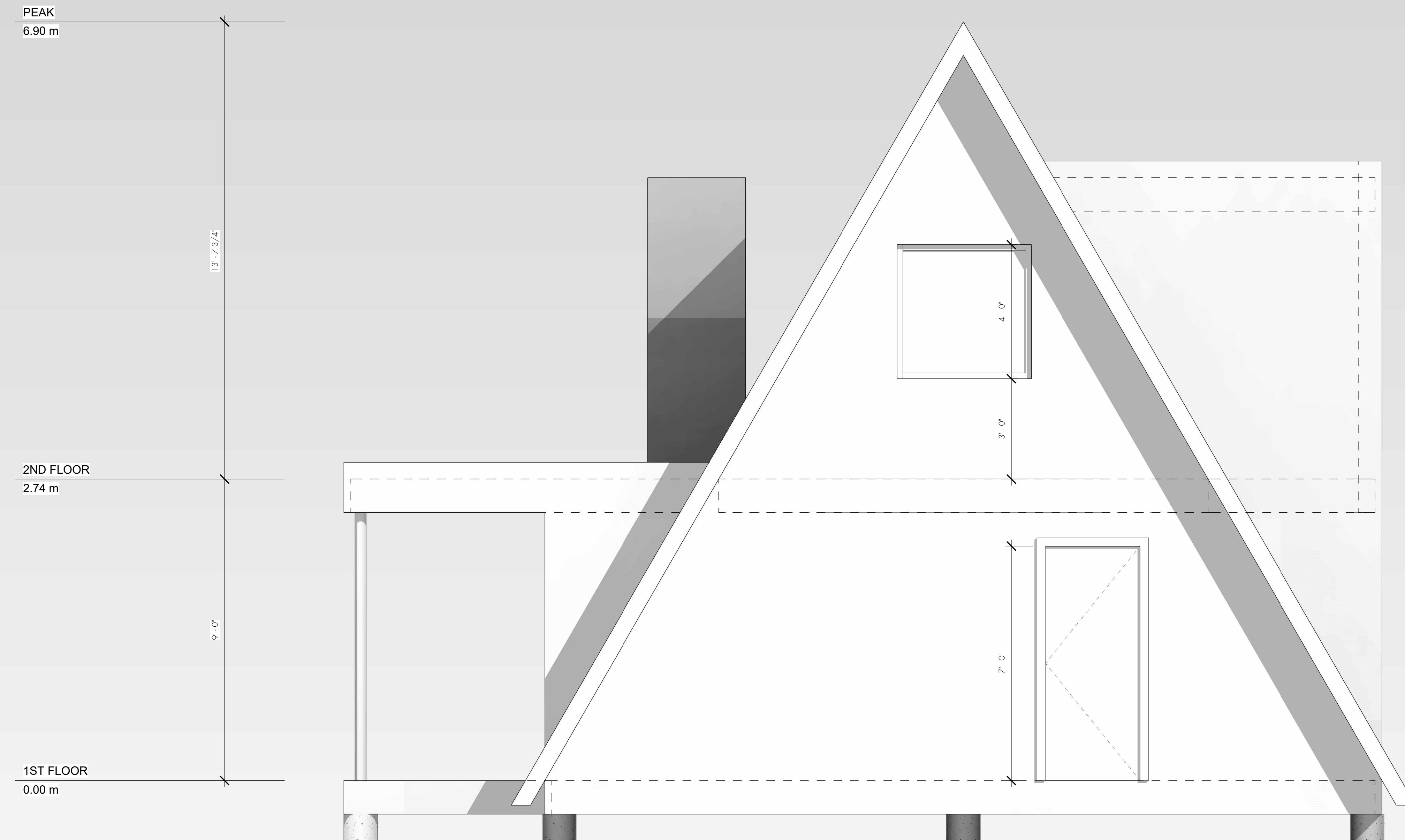
TITLE

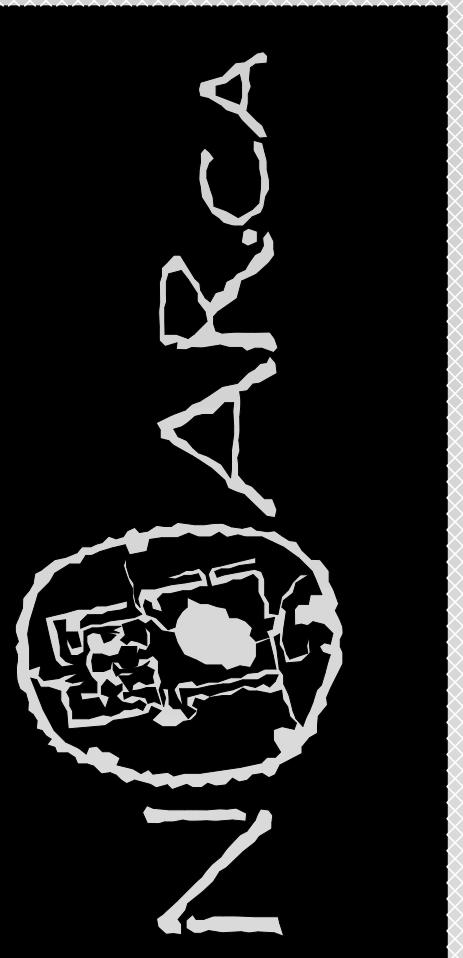
NORTH
ELEVATION

SHEET NO.

A2.3

PLOT DATE 2024-09-20 10:02:49 AM





NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONSULTANT AND THE OWNER ONLY.
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT AND THE OWNER.
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION. ANY CHANGES TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

MAYNOOTH, ON

START DATE 2022-09-22

No.	Description	Date
2	ZBA APPLICATION	2024-09-19

SCALE 1/2" = 1'-0"

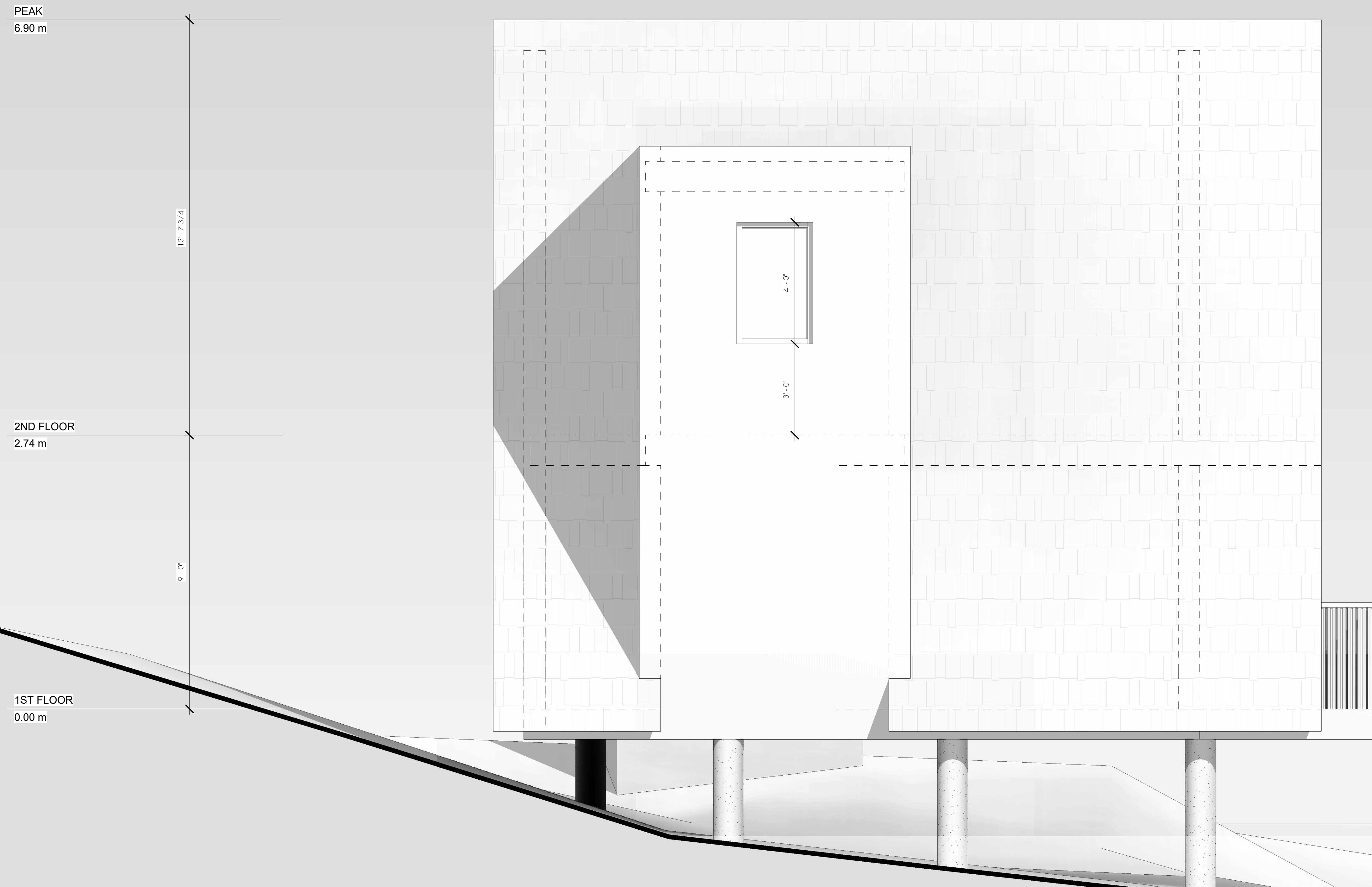
TITLE

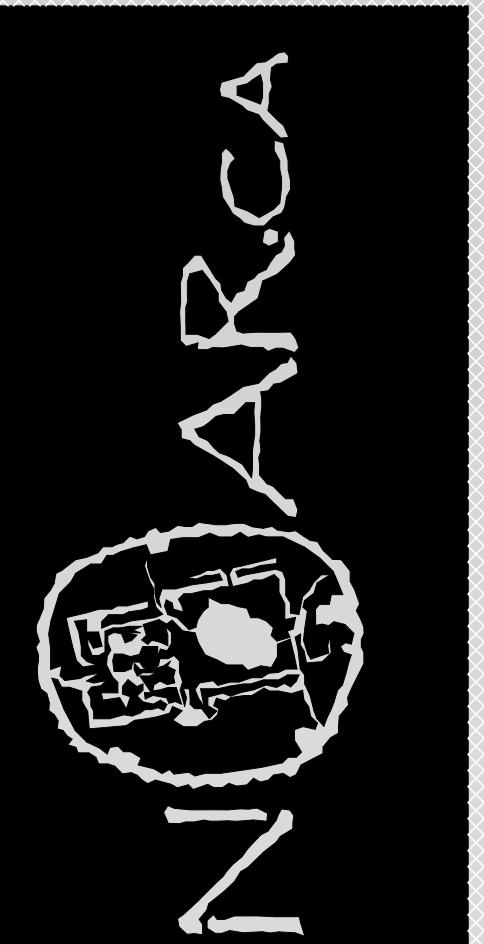
WEST
ELEVATION

SHEET NO.

A2.4

PLOT DATE 2024-09-20 10:02:55 AM





NOAR.CA

647.887.5000

SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONSULTANT AND THE CONTRACTOR
FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT AND THE CONTRACTOR.
REPRODUCTION OF THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON CONSTRUCTION DRAWINGS AND TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD

MAYNOOTH, ON

START DATE 2022-09-22

No.	Description	Date
2	ZBA APPLICATION	2024-09-19

SCALE 1/2" = 1'-0"

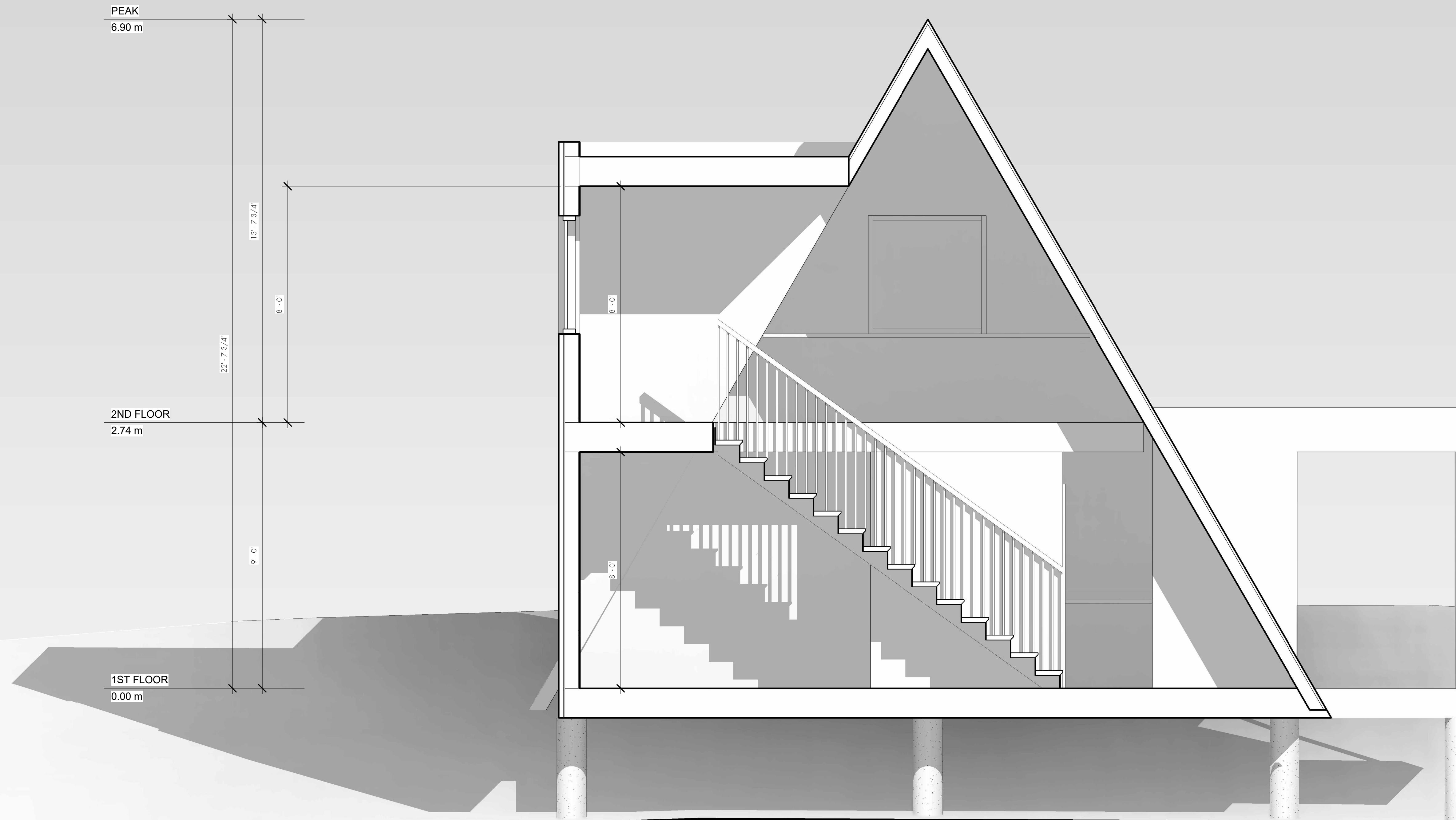
TITLE

CROSS
SECTION

SHEET NO.

A4.1

PLOT DATE 2024-09-20 10:03:00 AM



PROJECT: 752 PETERSON ROAD (LOOKOUT UNIT)
Maynooth, ON

ISSUED FOR ZBA APPLICATION

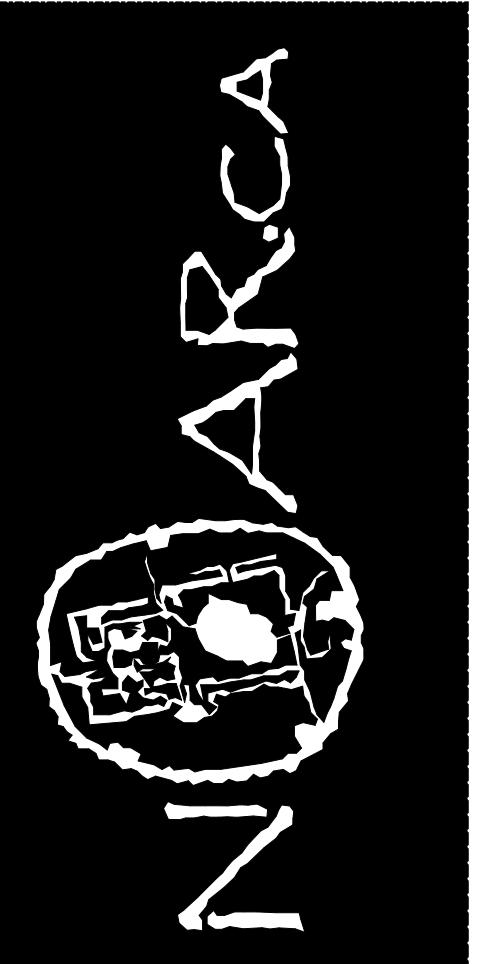
2024-09-19

LIST OF DRAWINGS:

A0.1 COVER
A0.2 ARCHITECTURAL NOTES
A0.2A STRUCTURAL NOTES
A1.2 FLOOR PLANS
A2.1 ELEVATIONS



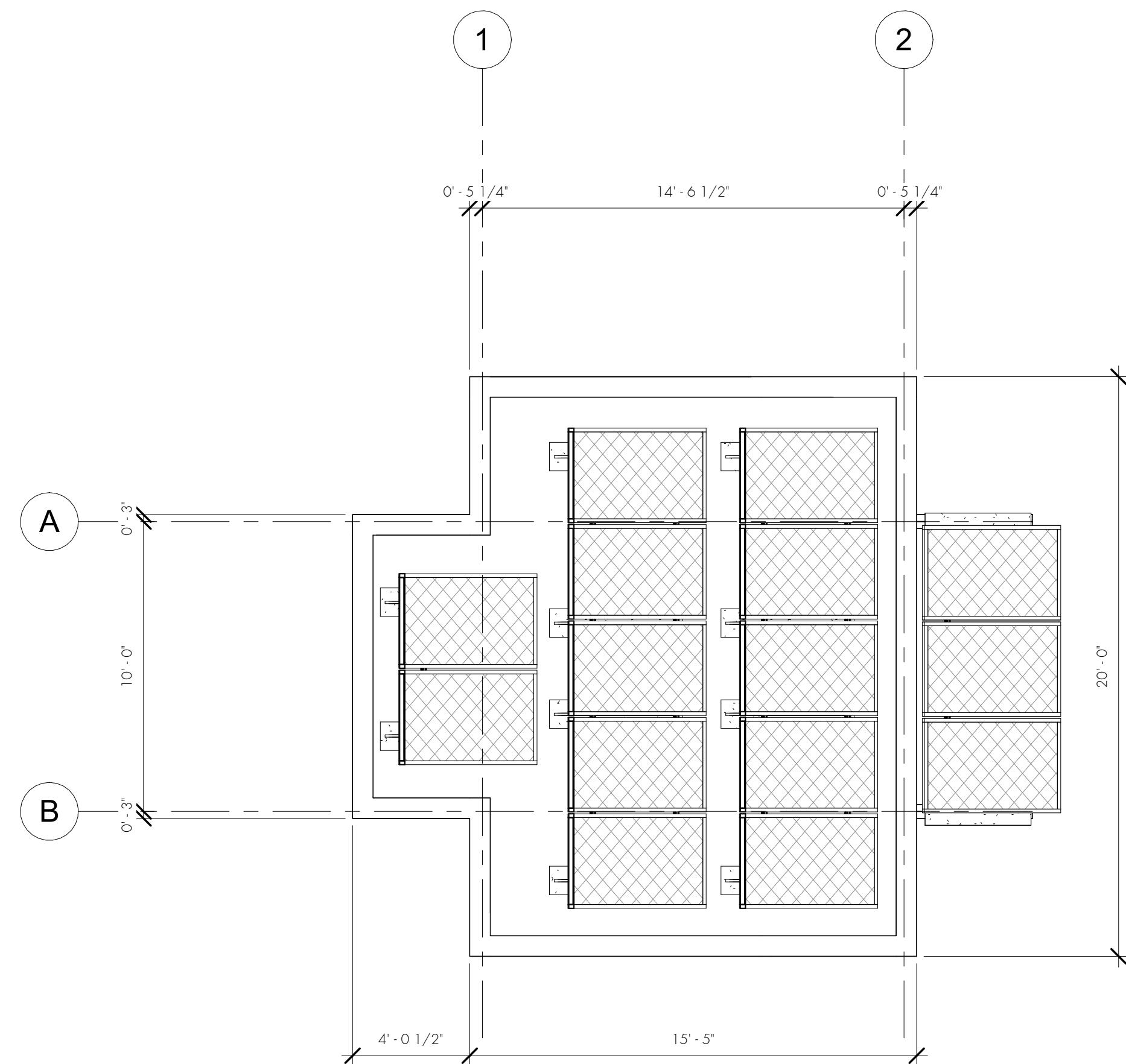
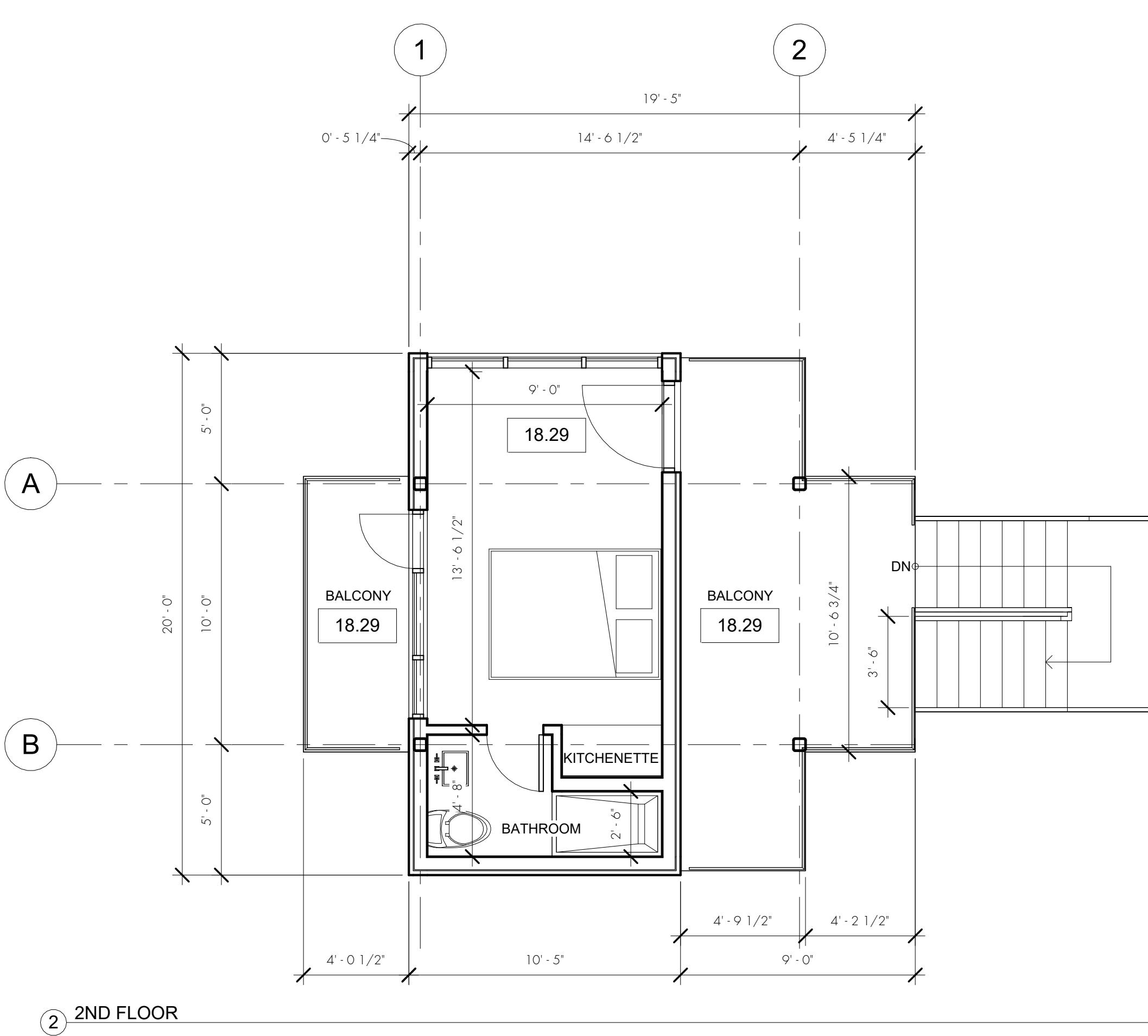
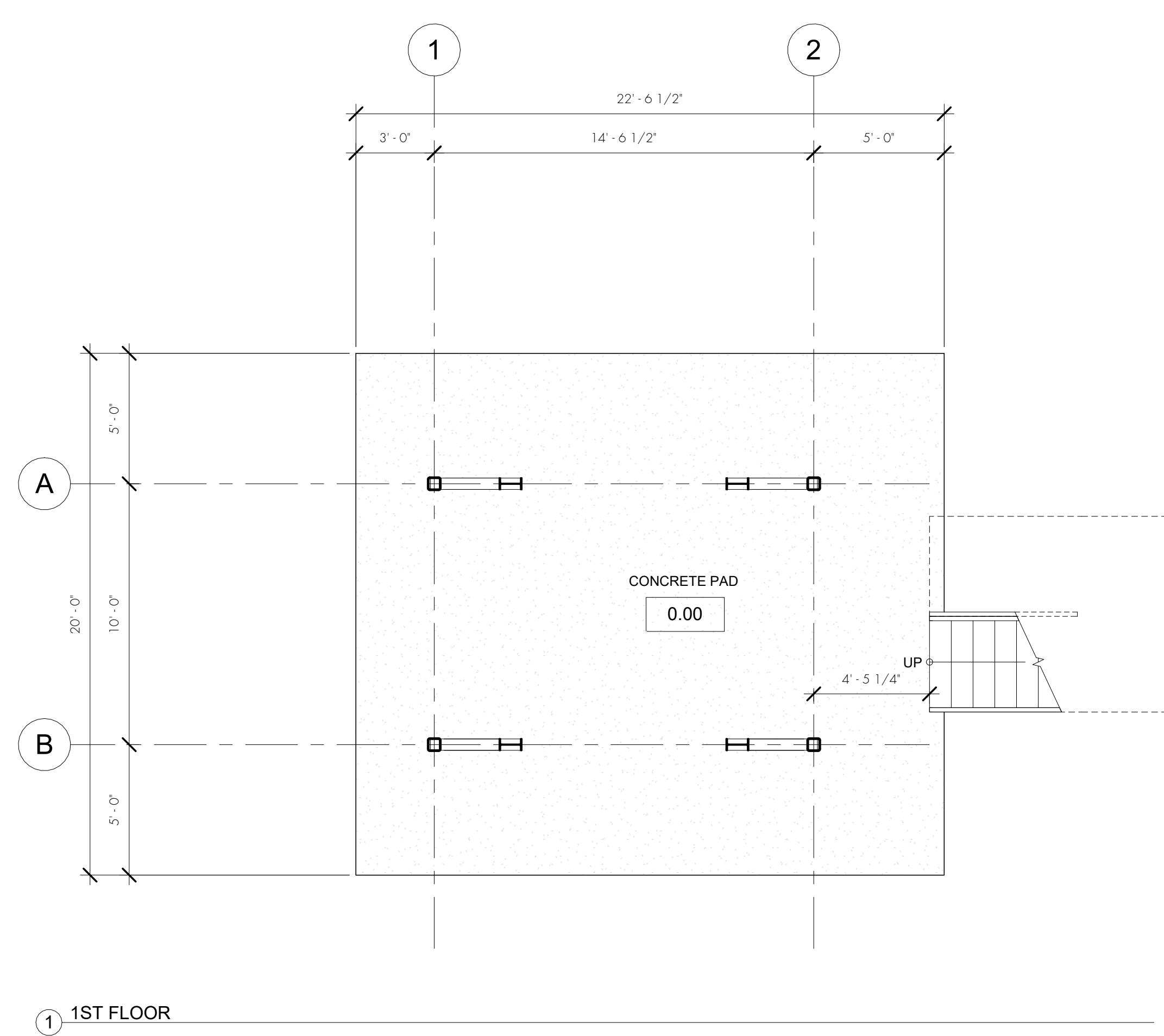
SHAHRAM RASHVAND
SHAHRAM@NOAR.CA
647.887.5000



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR FOR CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. IT IS AN INFRINGEMENT
TO REPRODUCE THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. ANY CHANGES IN DIMENSIONS TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.



PROJECT
752 PETERSON
ROAD
(LOOKOUT UNIT)

Maynooth, ON

START DATE 2024-01-18

No.	Description	Date
1	ZBA APPLICATION	2024-09-19

SCALE 1/4" = 1'-0"

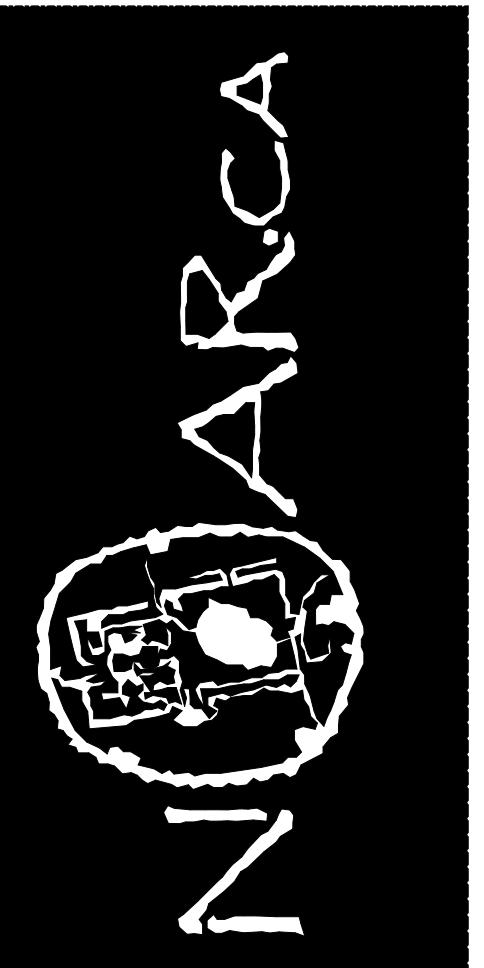
TITLE

FLOOR
PLANS

SHEET NO.

A1.2

PLOT DATE 2024-09-20 10:01:02 AM



NOAR.CA

647.887.5000
SHAHRAM@NOAR.CA

NOTE:
THESE DRAWINGS ARE COPYRIGHTED AND THEY
REMAIN THE PROPERTY OF THE CONSULTANT.
THESE DRAWINGS ARE FOR THE USE OF THE
CONTRACTOR AND NOT FOR GENERAL
CONSTRUCTION UNLESS NOTED IN THE
REVISION FIELD AND SEALED AND SIGNED BY
THE CONSULTANT. IT IS AN OFFENSE TO
REPRODUCE OR COPY THESE DRAWINGS WITHOUT
THE CONSENT OF THE DESIGNER IS NOT
ALLOWED.
ALL DIMENSIONS TO BE CHECKED AND VERIFIED
ON SITE. ANY CHANGES IN THE DRAWINGS TO BE
REPORTED TO THE ARCHITECT.
LATEST APPROVED DRAWINGS ONLY TO BE
USED FOR CONSTRUCTION.
DO NOT SCALE THE DRAWING.

PROJECT
752 PETERSON
ROAD
(LOOKOUT UNIT)

Maynooth, ON

START DATE 2024-01-18

No.	Description	Date
1	ZBA APPLICATION	2024-09-19

SCALE 1/4" = 1'-0"

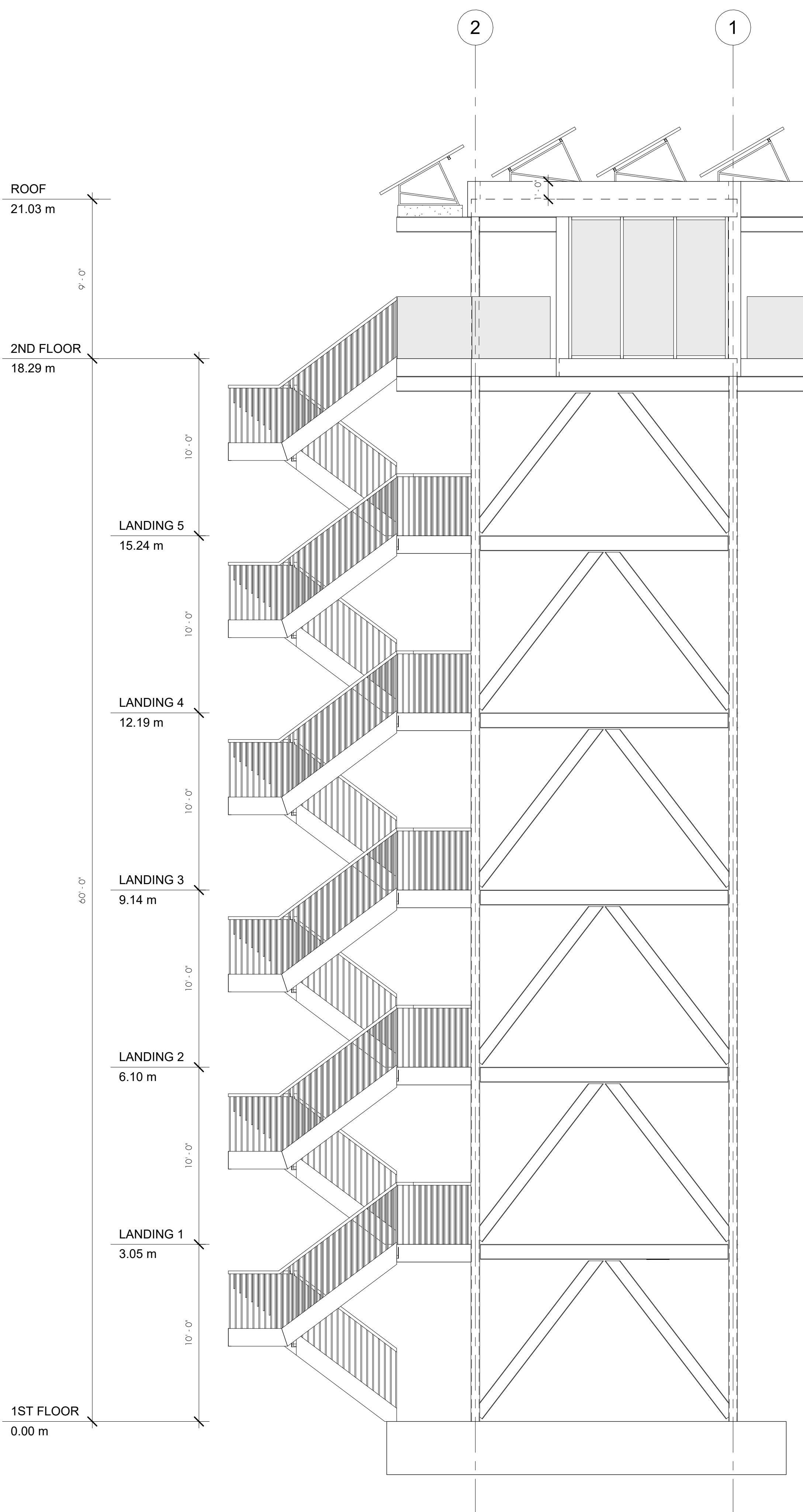
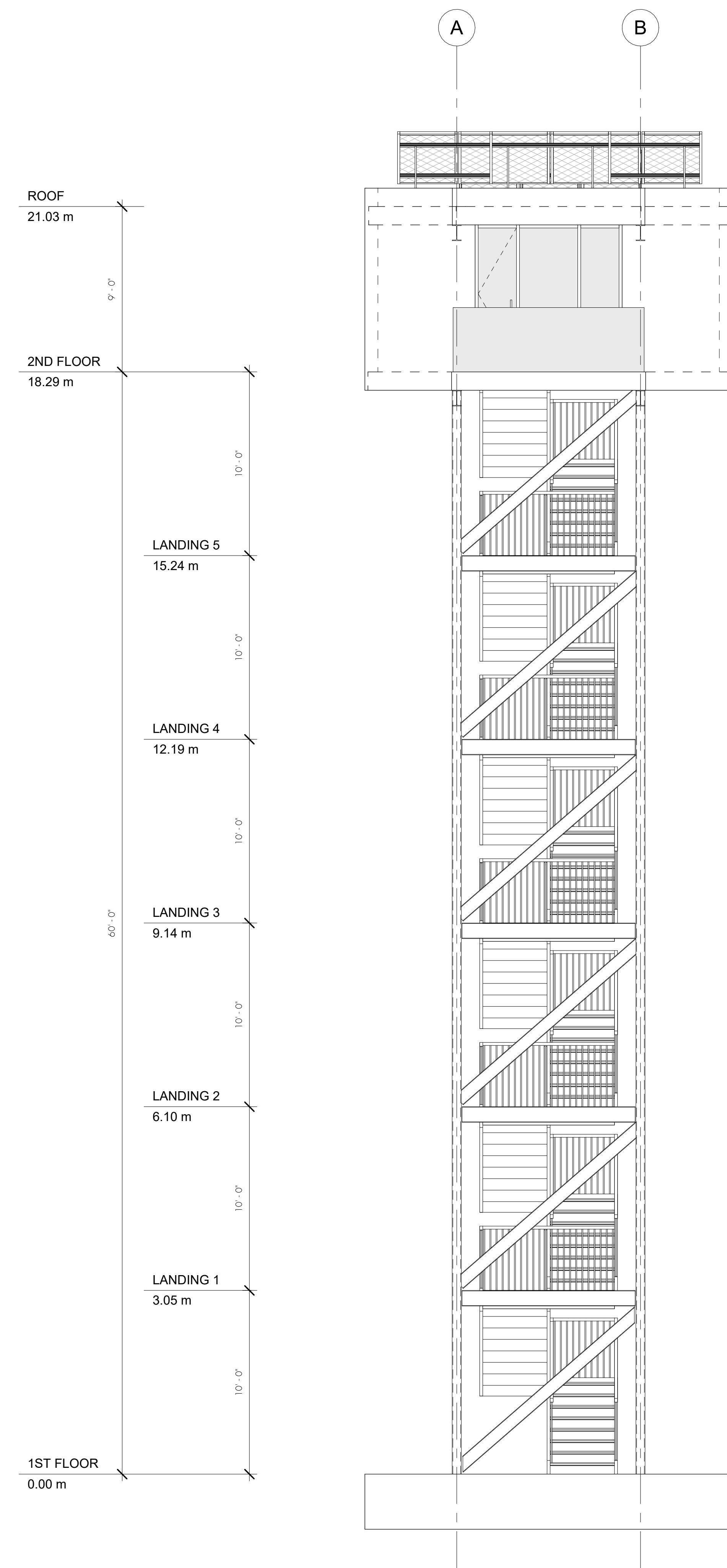
TITLE

ELEVATIONS

SHEET NO.

A2.1

PLOT DATE 2024-09-20 10:01:02 AM



**SCHEDULE B - PROPOSED ZONING BY-LAW
AMENDMENT, PREPARED BY DESIGN PLAN
SERVICES INC.**

The Corporation of The Municipality of Hastings Highlands

Bylaw XXXX-XXX

A Bylaw To Amend Comprehensive Zoning Bylaw No. 2004-035, As Amended, of The Corporation of The Municipality of Hastings Highlands, Being Bylaws to Regulate The Use of Land and The Height, Bulk, Location, Spacing, Character and Use of Buildings

Whereas Bylaw No. 2004-035, as amended, is the Comprehensive Zoning Bylaw governing the lands located within the Corporation of the Municipality of Hastings Highlands;

And Whereas the Council of the Corporation of the Municipality of Hastings Highlands having received and reviewed an application to amend Bylaw No. 2004-035, as amended, for the Corporation of the Municipality of Hastings Highlands, agrees with the proposed changes;

And Whereas authority is granted under Section 34 of the *Planning Act, R. S. O. 1990, c.P.13*, as amended;

Now Therefore, The Council of The Corporation of The Municipality Of Hastings Highlands Enacts As Follows:

1. That Comprehensive Zoning Bylaw No. 2004-035, as amended, is hereby amended by adding subsection 27.XXX to add the Special Recreational Resort Commercial (RRC-XXX) Zone as follows:

27.XXX RRC-XXX (Part of Lot 8, Concession 16, Geographic Township of Herschel, Municipality of Hastings Highlands, County of Hastings)

Notwithstanding any provisions of this Bylaw to the contrary, on lands zoned RRC-XXX, the following special provisions shall apply:

Permitted Uses

- i. A tourist establishment, consisting of seventeen (17) tourist cabins and one (1) management building.

For the purposes of this subsection, a management building has full washroom and full kitchen facilities with shared common areas. Each tourist cabin may contain a washroom and a kitchenette.

Zone Provisions

- i) Maximum Density: 17 units and one management building.
- ii) Building Height: 21 metres.

All other provisions of this Bylaw shall apply.

2. That Schedule 'A' to Bylaw 2004-035, as amended, is hereby amended by changing the zone category of **Part of Lot 8, Concession 16, Geographic Township of Herschel, Municipality of Hastings Highlands, County of Hastings** thereon in accordance with Schedule '1' attached hereto.

3. That Schedule '1' attached hereto forms part of this Bylaw.

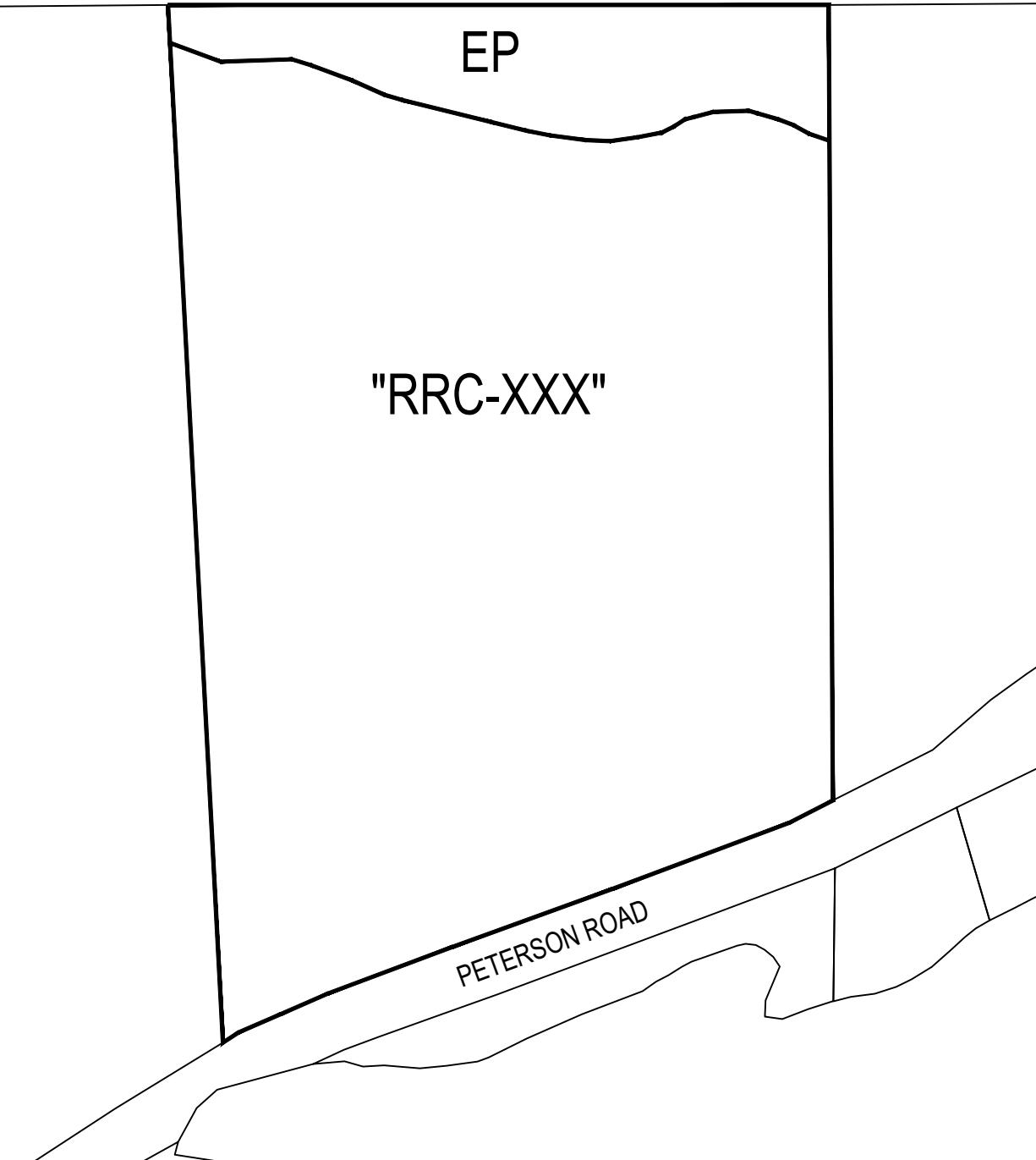
Coming Into Force

4. **That** this bylaw shall come into force and take effect pursuant to the provisions of and the regulations made under the *Planning Act, R. S. O., 1990, c.P.13*, as amended.

Enacted and **Passed** in Council this ____th day of _____, _____.

Tony Fitzgerald, Mayor

Suzanne Huschilt, Municipal Clerk



EP

"RRC-XXX"

PETERSON ROAD

SCHEDULE " 1 "

TO BY-LAW NO. 2004-035

This is Schedule "A" to the By-Law 2004-035 passed
by the Council of the Municipality of Hastings
Highlands on the _____ day of _____
2024.

Mayor

City Clerk

 AREA SUBJECT TO THIS BY-LAW

